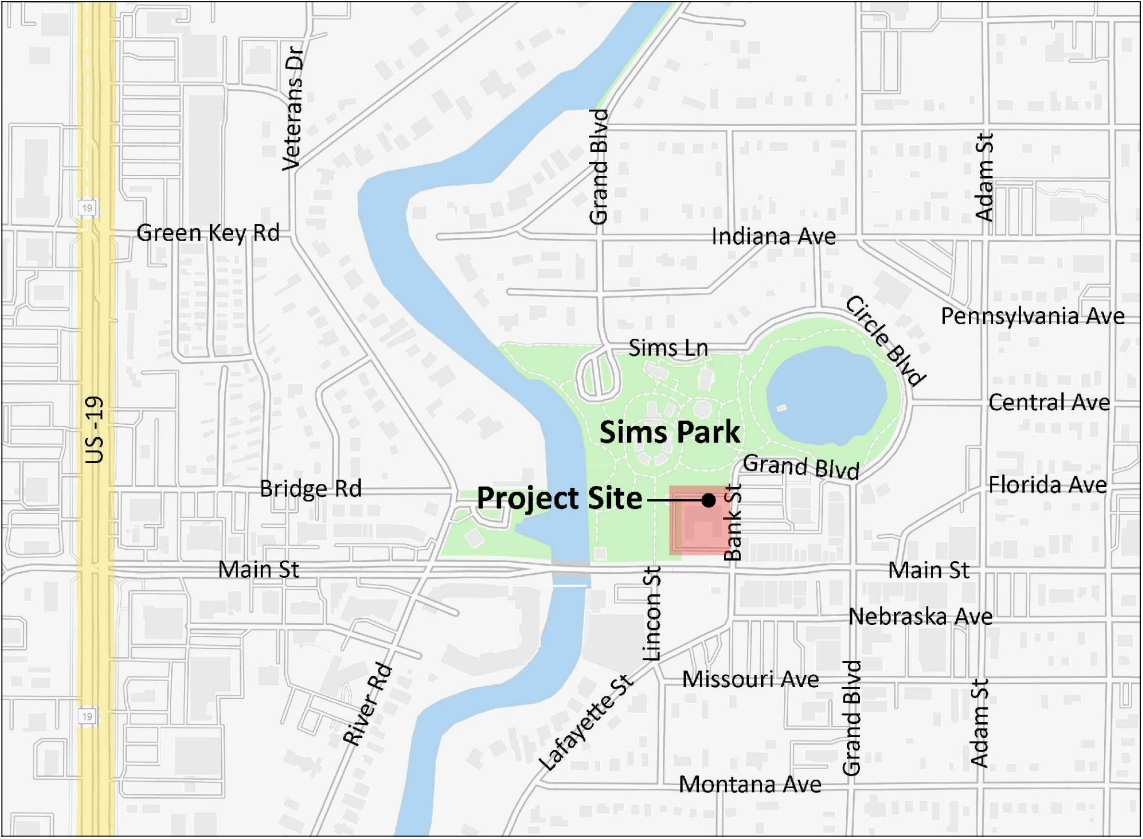


VICINITY MAP:



LANDSCAPE SHEET INDEX:

SHEET NUMBER	SHEET NAME	SCALE
LS-100	Landscape Sheet Key Plan	N.T.S.
LS-101	Site Layout Plan	1" = 20'
LS-102	Hardscape Plan and Details	1" = 20'
LS-103	Grading Plan	1" = 20'
LS-104	Planting Plan	1" = 20'
LS-S01	Planting Details and Notes	As Noted

GENERAL NOTES:

1. CONTRACTOR TO COORDINATE WITH THE CITY'S ENGINEERING DEPARTMENT TO VERIFY ALL EXISTING AND PROPOSED SPOT GRADES AND ELEVATIONS FOR THIS PROJECT.
2. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR/SUBCONTRACTOR. IT SHALL BE THE CONTRACTOR/SUBCONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR/SUBCONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. ALL UTILITIES WHICH INTERFACE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY COMPANIES.
3. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PLANS AND GENERAL NOTES CONTAINED HEREIN AND/OR OTHERWISE REQUIRED BY APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, AND REGULATIONS. IN THE EVENT OF A CONFLICT BETWEEN THE REQUIREMENTS, THE MOST STRINGENT SHALL APPLY AS DETERMINED BY THE ENGINEER.
4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED. ALL DAMAGED FACILITIES ARE TO BE RESTORED TO ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTION.
6. ALL SPECIFICATIONS AND DOCUMENTS REFERRED TO SHALL BE OF THE LATEST REVISIONS AND/OR LATEST EDITION.
7. MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND THE CITY OF NEW PORT RICHEY STANDARD DETAILS.
8. WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
9. ALL DISTURBED AREAS WITHIN PUBLIC RIGHT-OF-WAY OR OUTSIDE THE PROJECT BOUNDARY ARE TO BE RESTORED TO ORIGINAL CONDITION OR BETTER.
10. REPAIR AND REPLACEMENT OF ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS AT CONTRACTOR'S EXPENSE.
11. ALL DISTURBED AREAS ASSOCIATED WITH CONSTRUCTION, WHICH ARE NOT TO BE SODDED, ARE TO BE SEEDED TO GOVERNING AGENCY STANDARDS AND SHOULD PRESENT A FINISHED APPEARANCE AND REASONABLY COMPLETE COVERAGE WITHIN ONE YEAR OF PLANTING. ANY WASHOUTS, REGRADING, RESEEDING, AND GRASSING WORK, AND OTHER EROSION WORK REQUIRED, WILL BE PERFORMED BY THE CONTRACTOR/SUBCONTRACTOR UNTIL THE SYSTEM IS ACCEPTED FOR MAINTENANCE BY THE REGULATORY AGENCY AND OWNER'S REPRESENTATIVE.

GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES AND BUILDING CODES.
2. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES, EXISTING TREES, EXISTING PALMS, AND EXISTING LIGHT FIXTURES IN RELATION TO THE PROPOSED DESIGN PRIOR TO BEGINNING CONSTRUCTION.
3. THE CONSTRUCTION SITE SHALL BE LEFT CLEAN AND FREE FROM DEBRIS AT THE END OF EACH WORK DAY.
4. THE CONTRACTOR SHALL APPLY FOR, OBTAIN AND PAY FOR ALL REQUIRED PERMITS, UNLESS OTHERWISE SPECIFIED. PERMITS SHALL BE POSTED ACCORDING TO LOCAL, STATE, AND FEDERAL REGULATIONS.
5. ALL WORK, MATERIAL AND EQUIPMENT UTILIZED SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
6. ALL WORK FOR THIS PROJECT SHALL CONFORM TO STANDARDS PUBLISHED BY RECOGNIZED PROFESSIONAL AND INDUSTRY ORGANIZATIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH ALL EXISTING CONDITIONS AFFECTING THE WORK PRIOR TO BIDDING.
8. THE CONTRACTOR SHALL SUBMIT UNIT PRICES FOR ALL LINE ITEMS IN THEIR BID.
9. THE CONTRACTOR SHALL SEEK CLARIFICATION PRIOR TO BIDDING FROM THE OWNER'S REP. OF ANY DISCREPANCIES IN THE PROVIDED DRAWINGS. THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
10. THE CONTRACTOR SHALL SEEK CLARIFICATION PRIOR TO BIDDING OF ANY QUESTIONS CONCERNING CONDITIONS, DRAWINGS, DETAILS AND SPECIFICATIONS THAT WILL AFFECT SUBMISSION OF A COMPLETE AND ACCURATE BID. SUBMISSION OF QUESTIONS SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE INSTRUCTION TO BIDDERS.
11. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE OWNER'S REP. FOR ANY DEVIATION FROM THE CONTRACT DOCUMENTS.
12. ALL REQUESTS FOR INFORMATION CLARIFICATION, DEVIATION OR SUBSTITUTION FOR ITEMS IN THE CONTRACT DOCUMENTS SHALL BE MADE IN WRITING THROUGH THE OWNER'S REP. THE OWNER'S REP. SHALL HAVE SEVEN (7) WORKING DAYS IN WHICH TO RESPOND.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AND MAINTAINING ALL CONSTRUCTION AREAS FREE OF DEBRIS AND HAZARDOUS MATERIALS THROUGHOUT THE CONSTRUCTION PROCESS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF ANY ITEMS/AREAS DAMAGED DURING THE CONSTRUCTION OUTSIDE OF NORMAL PRACTICES AT NO COST TO THE CLIENT.
15. THE CONTRACTOR SHALL LAYOUT AND VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER'S REP.
16. DIMENSIONS SHALL NOT BE SCALED FROM THE CONTRACT DOCUMENTS. WRITTEN DIMENSIONS SHOWN ON THE PLANS SHALL RULE. IN THE CASE OF AMBIGUITY THE CONTRACTOR SHALL REQUEST IN WRITING A CLARIFICATION OF DIMENSIONS FROM THE OWNER'S REP.
17. WHERE THERE IS A DISCREPANCY BETWEEN THE QUANTITY SHOWN ON THE MATERIAL LIST AND THE QUANTITY OF ITEMS SHOWN ON THE PLANS, THE PLANS SHALL RULE.
18. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO THE START OF FABRICATION FOR ALL APPLICABLE ITEMS. THE OWNER'S REP. SHALL HAVE SEVEN (7) WORKING DAYS IN WHICH TO RESPOND.
19. ANY INFRASTRUCTURE, STRUCTURAL ELEMENTS, OR UTILITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR TO PROVIDE SIGNED AND SEALED DWGS. FOR ALL STRUCTURAL AND UTILITY WORK. LOCATION OF ANY CONDUIT MUST BE COORDINATED WITH OWNER'S REP. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REP.
20. DIMENSIONS ARE TO WALL, STAIR FACES, FACE OF CURB, AND EDGE OF WALK UNLESS INDICATED OTHERWISE ON DRAWINGS.
21. MAINTAIN EXISTING GRADE AT THE BASE OF ALL EXISTING TREES TO REMAIN. INSTALL TREE PROTECTION FENCING AT THE DRIPLINE OF ALL TREES TO REMAIN WHEN POSSIBLE. PROTECT FROM PHYSICAL DAMAGE, STOCKPILING OR CONSTRUCTION TRAFFIC WITHIN THE DRIPLINE.
22. CONTRACTOR TO CONSTRUCT ALL CURVILINEAR SITE ELEMENTS WITH SMOOTH, CONTINUOUS, UNBROKEN CURVES.

DRAFTING SYMBOLS:

DETAIL NUMBER SHEET NUMBER		SECTION
DETAIL NUMBER SHEET NUMBER		DETAIL
DRAWING TITLE DRAWING SCALE		DRAWING TITLE
		SECTION/AREA ENLARGEMENT

ABBREVIATIONS:

Ø	DIAMETER	EOP	EDGE OF PAVEMENT	O.C.	ON CENTER
±	PLUS/MINUS	E.Q.	EQUAL	OD	OUTSIDE DIAMETER
xx"	DEGREES	EQUIP.	EQUIPMENT	OPP	OPPOSITE
@	AT	EW	EACH WAY	P.A.	PLANTING AREA
8	AIR CONDITIONER	EX	EXISTING	P.O.B.	POINT OF BEGINNING
A.C.	AIR CONDITIONER	FBC	FLORIDA BUILDING CODE	PR	PAIR
ADJ.	ADJACENT	FD	FLOOR DRAIN	P.T.	PRESSURE
ALUM.	ALUMINUM	F.F.	FINISH FLOOR ELEVATION	R	RADIUS
ARCH.	ARCHITECTURE, ARCHITECT	F.O.	FACE OF	RD	ROOF DRAIN
A.F.F.	ABOVE FINISH FLOOR	F.O.F.	FACE OF FINISH	REIN.	REINFORCED
APPROX.	APPROXIMATE	GALV.	GALVANIZED	REQ.	REQUIRED
BLDG.	BUILDING	GEN.	GENERATOR	S.F.	SQUARE FEET
BS	BOTTOM OF STAIR/STEP	H.C.	HANDICAP	SIM.	SIMILAR
BW	BOTTOM OF WALL	HORIZ.	HORIZONTAL	SQ.	SPECIFICATIONS
CB	CATCH BASIN	HT.	HEIGHT	S.S.	SQUARE
CL	CENTERLINE	HWD.	HARDWOOD	S.S.	STAINLESS STEEL
CNTRL.	CONTROL	H.A.	HIGH POINT	SYM.	SYMMETRICAL
C.O.	CLEAN OUT	INV.	INVERT	STRUC.	STRUCTURAL
COL.	COLUMN	JT.	JOINT	T	TREAD
CONC.	CONCRETE	L.A.	LANDSCAPE ARCHITECT	TBR	TO BE REMOVED
CONST.	CONSTRUCTION	L.F.	LINEAR FEET	TC	TOP OF COLUMN
CONT.	CONTINUOUS	L.P.	LOW POINT	T&B	TOP AND BOTTOM
C.M.U.	CONCRETE MASONRY UNIT	LT.	LIGHT	T.O.	TOP OF
DD	DECK DRAIN	MANUF.	MANUFACTURER	TRANSV.	TRANSVERSE
DET.	DETAIL	MAX.	MAXIMUM	TS	TOP OF STAIR/STEP
DI	DRAIN INLET	MECH.	MECHANICAL	TW	TOP OF WALL
DIA.	DIAMETER	MEP	MECHANICAL/ELECTRICAL/PLUMBING	TYP.	TYPICAL
DIM.	DIMENSION	MH	MANHOLE	VERT.	VERTICAL
DN.	DOWN	MIN.	MINIMUM	V.I.F.	VERIFY IN FIELD
DR.	DOOR	MISC.	MISCELLANEOUS	W/	WITH
DWG.	DRAWING	N.I.C.	NOT IN CONTRACT	W/O	WITHOUT
EJ	EXPANSION JOINT	N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM	WP.	WATERPROOF
ELEC.	ELECTRIC, ELECTRICAL	N.O. or #	NUMBER	WT.	WEIGHT
EL	ELEVATION	NOM.	NOMINAL		
		N.T.S.	NOT TO SCALE		

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**HISTORIC HACIENDA HOTEL/SIMS PARK  
LANDSCAPE IMPROVEMENTS**

**CITY OF NEW PORT RICHEY**

Project No.: 215616802

File Name: 215616802 - LS 100 COVER SHEET

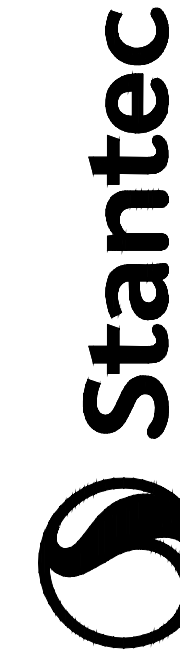
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Dwn. Dign. Chkt. YYYY.MM.DD

**COVER SHEET**

Revision:0 Sheet: 1 of  
Drawing No.

**LS-100**



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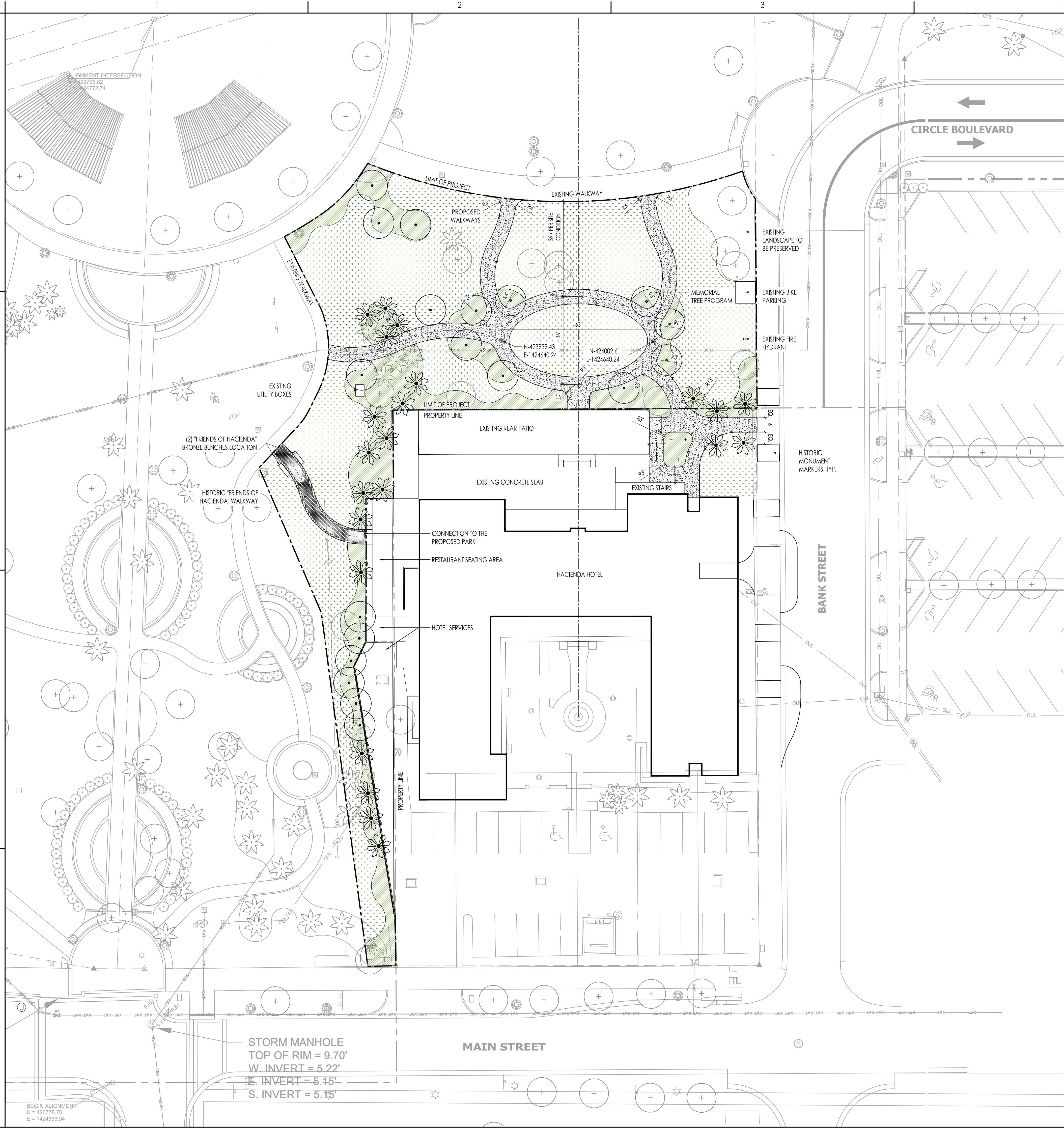
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By

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SITE LAYOUT NOTES:

1. REFER COVER SHEET FOR GENERAL AND CONSTRUCTION NOTES.
2. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY (UNLESS OTHERWISE STATED).
3. DIMENSIONS ARE IN DECIMAL FEET UNLESS OTHERWISE NOTED.
3. ALL BEARINGS ARE BASED ON THE NAD83 FLORIDA STATE PLANES, WEST ZONE, US FOOT.
4. DIMENSIONS SHALL NOT BE SCALED FROM THE CONTRACT DOCUMENTS. WRITTEN DIMENSIONS SHOWN ON THE PLANS SHALL RULE. IN THE CASE OF AMBIGUITY THE CONTRACTOR SHALL REQUEST IN WRITING A CLARIFICATION OF DIMENSIONS FROM THE OWNER'S REP.
5. THE CONTRACTOR SHALL LAYOUT AND VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER'S REP.
6. DIMENSIONS ARE TO WALL, STAIR FACES, FACE OF CURB, AND EDGE OF WALK UNLESS INDICATED OTHERWISE ON DRAWINGS.
7. CONSTRUCTION STAKEOUT FOR THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR USING A DIGITAL (CADD) FILE PROVIDED THROUGH THE ARCHITECT/GC. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE DIGITAL FILE AND THE STAKING DIMENSIONS SHOWN ON THE PLAN OR DISCREPANCIES FOUND BETWEEN THE LAYOUT AND THE SITE. ANY MODIFICATIONS MADE BY OTHERS TO THE DIGITAL FILE PROVIDED SHALL RENDER IT VOID. IN THE EVENT OF DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE DESIGN LAYOUT OR EXISTING CONDITIONS, THE CONTRACT DOCUMENTS TAKE PRECEDENCE OVER THE DIGITAL FILE.
8. CONTRACTOR SHALL LOCATE ALL BASE LINES, LAYOUT DIMENSIONS, AND PERFORM LAYOUT STAKING PRIOR TO INSTALLING IMPROVEMENTS. WHERE DISCREPANCIES ARE FOUND BETWEEN THE PLAN AND THE SITE CONDITIONS, THE CONTRACTOR SHALL INFORM THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING SLEEVING FOR ELECTRIC, DRAINAGE, AND UTILITIES PRIOR TO THE INSTALLATION OF COMPACTED SUB-GRADE, SUB-BASE AND PAVEMENT AS NECESSARY. SLEEVES TO BE INSTALLED AT A MINIMUM DEPTH BELOW GRADE AS PER LOCAL CODES.
10. CONTRACTOR SHALL STAKE LOCATIONS OF PROPOSED WALKS AND WALLS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
11. ALL PROPOSED WALKS ABUTTING EXISTING WALKS SHALL MEET FLUSH ALONG EDGES AND ELEVATION.
12. UNLESS OTHERWISE NOTED, CONCRETE CONTROL JOINTS SHALL BE AT 3' O.C. AND EXPANSION JOINTS SHALL BE AT 30' O.C.
13. CONTRACTOR TO VERIFY EXISTING TREES, PALMS, AND EXISTING LIGHT FIXTURE LOCATIONS AT SITE PRIOR TO BEGINNING CONSTRUCTION.
13. MAINTAIN EXISTING GRADE AT THE BASE OF ALL EXISTING TREES TO REMAIN. INSTALL TREE PROTECTION FENCING AT THE DRIPLINE OF ALL TREES TO REMAIN WHEN POSSIBLE. PROTECT FROM PHYSICAL DAMAGE, STOCKPILING OR CONSTRUCTION TRAFFIC WITHIN THE DRIPLINE.
14. CONTRACTOR TO CONSTRUCT ALL CURVILINEAR SITE ELEMENTS WITH SMOOTH, CONTINUOUS, UNBROKEN CURVES.

SITE LAYOUT LEGEND:

	WALKWAY CENTER LINE
	CONCRETE WALKWAY
	RECLAIMED BRICK WALKWAY
	PROPOSED TREES
	PROPOSED PALMS
	EXISTING TREES TO BE PRESERVED
	EXISTING PALMS TO BE PRESERVED
	SHRUB AREA
	LAWN AREA

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Client/Project  
CITY OF NEW PORT RICHEY

HISTORIC HACIENDA HOTEL/SIMS PARK  
LANDSCAPE IMPROVEMENTS

New Port Richey, Florida

Project No.: 215616802

File Name: 215616802\_1S101-SITE LAYOUT

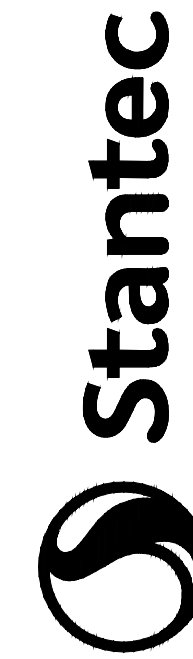
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Title  
SITE LAYOUT PLAN

Revision:0 Sheet: 01 of  
Drawing No.

**LS-101**



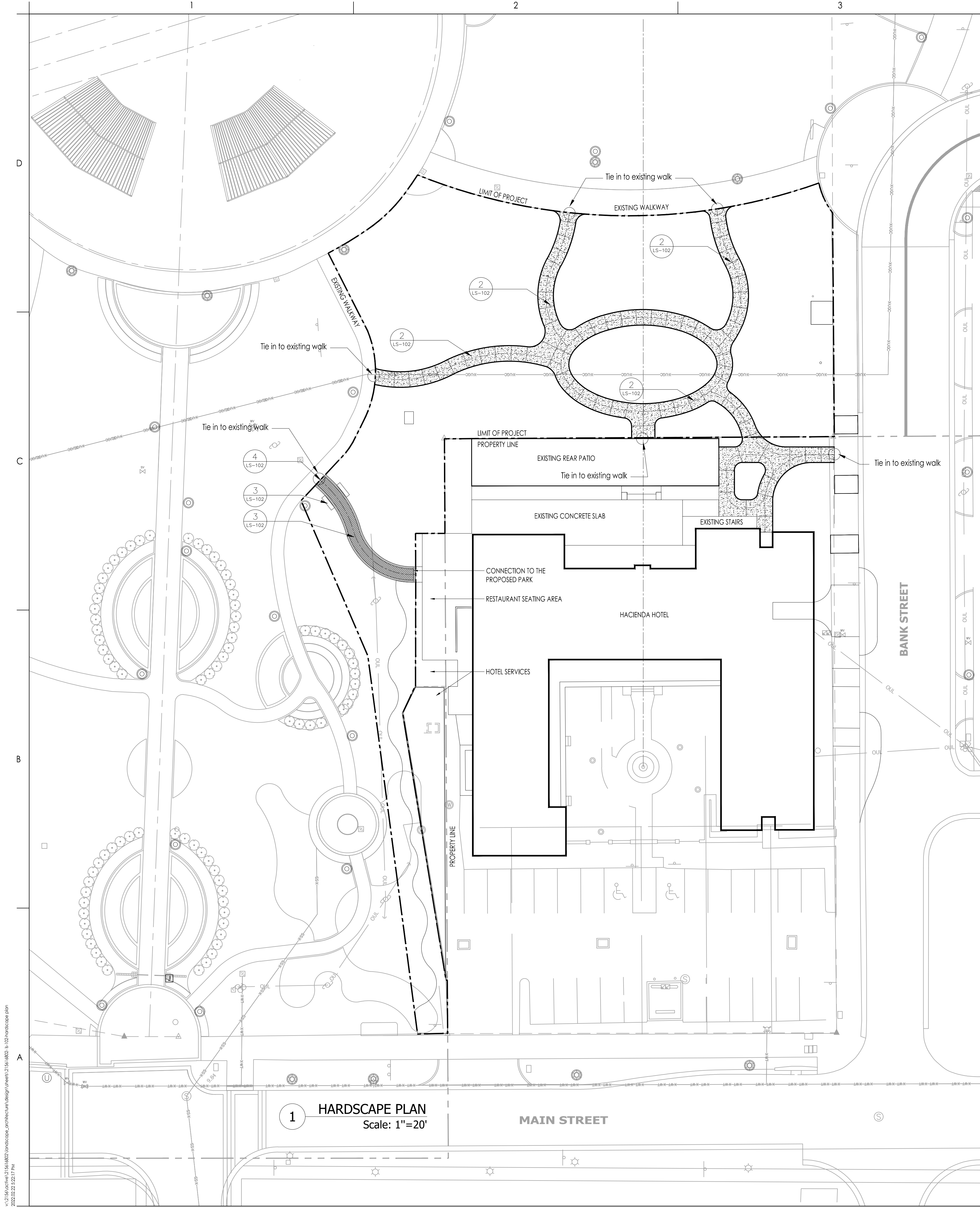
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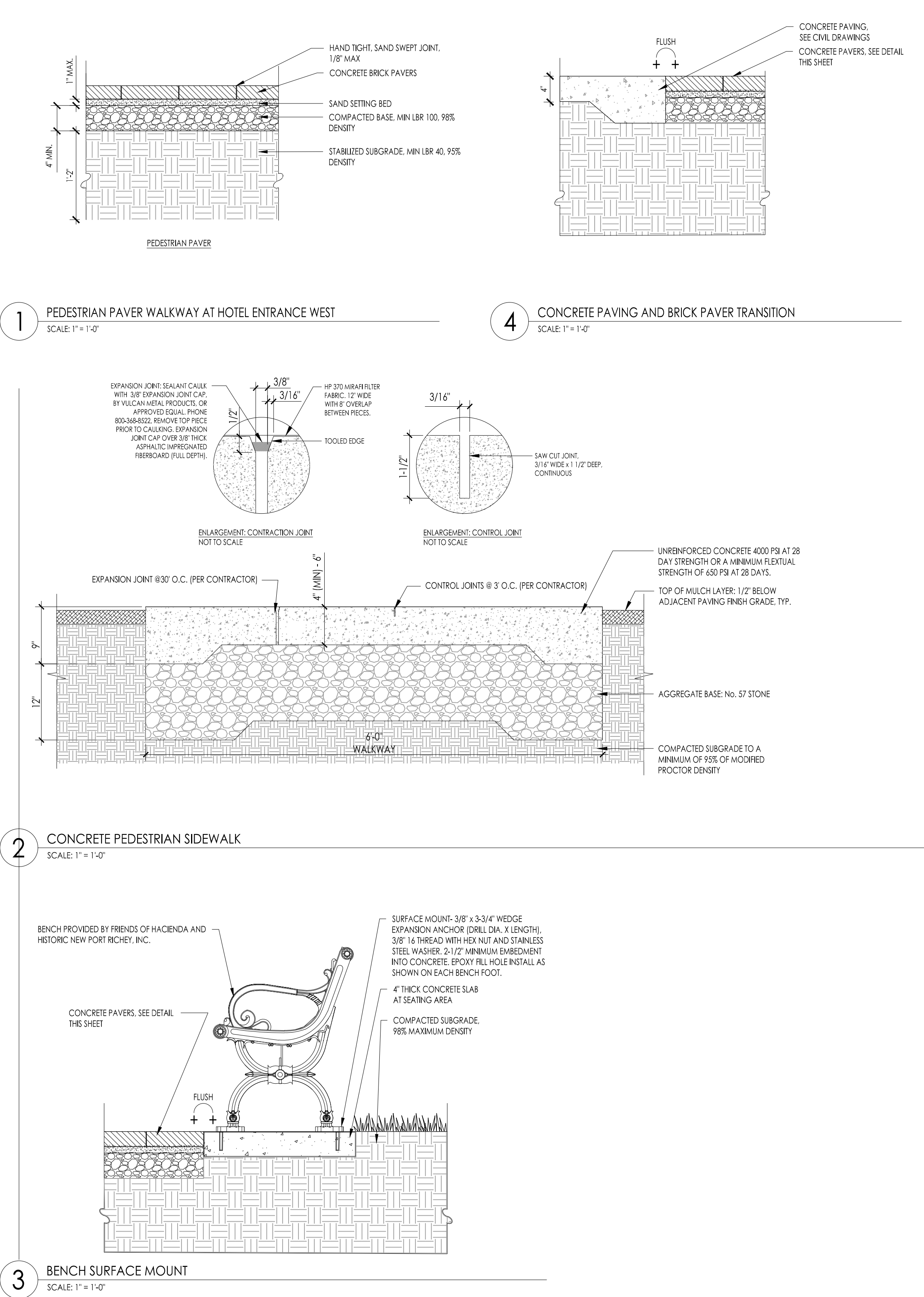


1 HARDSCAPE PLAN  
Scale: 1"=20'

GENERAL HARDSCAPE NOTES:

1. REFER COVER SHEET FOR GENERAL NOTES AND CONSTRUCTION NOTES
2. SIDEWALKS AREAS SHALL NOT EQUAL OR EXCEED A LONGITUDINAL SLOPE OF 5.0% UNLESS INDICATED ON PLANS.
3. SIDEWALK AND PLAZA AREA CROSS SLOPES SHALL NOT EXCEED 2.0%
4. ALL SOD AREAS SHALL SLOPE TO DRAIN. SLOPES SHALL NOT EXCEED 4:1.
5. PROPOSED ELEVATIONS DETAILED ON DRAWINGS INDICATE DESIGN INTENT ONLY. OWNER OR OWNER'S REP. MAY MODIFY PROPOSED GRADES IN THE FIELD TO ACCOMMODATE EXISTING SITE CONDITIONS.
6. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL FIELD STAKE ALL HARDSCAPE ELEMENTS FOR APPROVAL BY THE OWNER/CITY OF NEW PORT RICHEY PRIOR TO CONSTRUCTION.
8. ALL FENCE POSTS ARE EXISTING AND SHALL FOLLOW THE DIRECTION OF THE OWNER/CITY OF NEW PORT RICHEY REGARDING ITS DEMOLITION, RELOCATION
9. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND PRODUCT DATA SHEETS FOR ALL PRODUCTS SPECIFIED ON THE PLANS SHOWING MANUFACTURER'S RECOMMENDED PRACTICE FOR INSTALLATION OF THE PRODUCT. THE CONTRACTOR SHALL ALSO SUBMIT MANUFACTURER'S WARRANTY INFORMATION FOR REVIEW. ALL SUBMITTALS SHALL BE BOUND AND INDEXED FOR EASE OF REFERENCE AND SHALL INCLUDE A SUBMITTAL LOG AND SCHEDULE.
10. COMMEMORATIVE BRICKS AND BENCHES PROVIDED BY FRIENDS OF HACIENDA AND HISTORIC NEW PORT RICHEY, INC.

HARDSCAPE DETAILS:



3 COMMEMORATIVE BRICK/FOHH  
NO SCALE

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Revision	By	Appd	Issued
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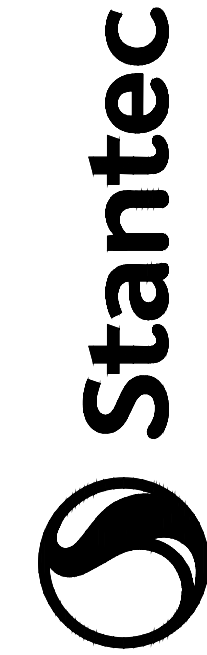
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HISTORIC HACIENDA HOTEL/SIMS PARK  
LANDSCAPE IMPROVEMENTS  
New Port Richey, Florida

Project No.: 215616802  
File Name: 215616802\_1S-102-HARDSCAPE PLAN  
Scale: As Noted  
MS MS LG  
Dwn. Dgn. Chkt. YYYY.MM.DD  
Title  
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AND DETAILS  
Revision:0 Sheet: 1 of  
Drawing No.

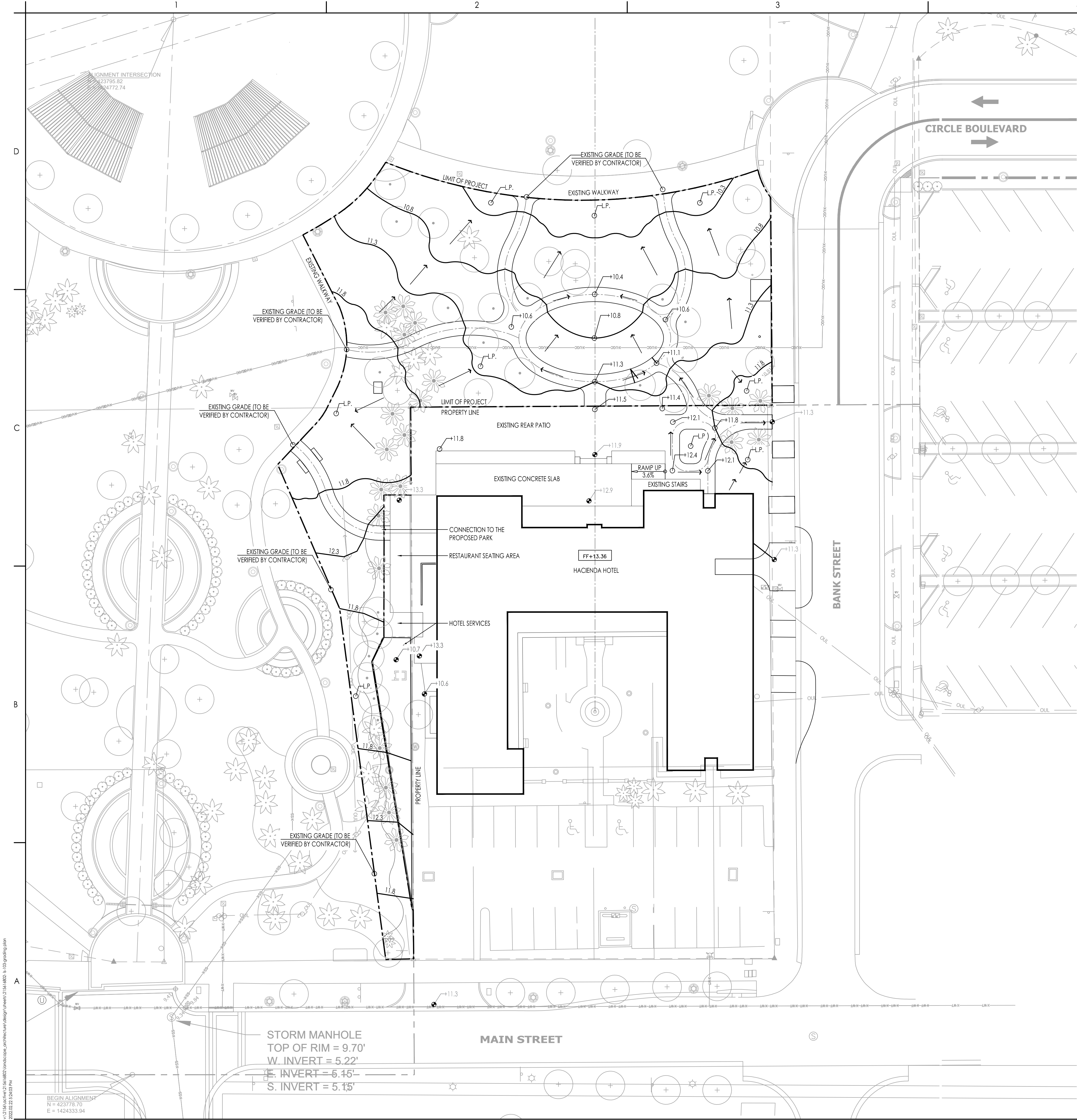
LS-102



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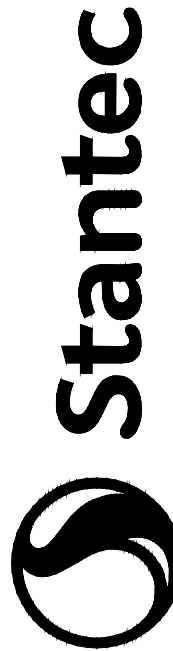


GRADING NOTES:

1. REFER COVER SHEET FOR GENERAL NOTES AND CONSTRUCTION NOTES
2. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY (UNLESS OTHERWISE STATED)
3. PROPOSED ELEVATIONS DETAILED ON DRAWINGS INDICATE DESIGN INTENT ONLY. OWNER OR OWNER'S REP. MAY MODIFY PROPOSED GRADES IN THE FIELD TO ACCOMMODATE EXISTING SITE CONDITIONS
4. REFER SURVEY DRAWINGS FOR EXISTING UTILITY, EXISTING SPOT LEVELS, VERTICAL WALLS, AND EXISTING TREES LOCATION ACCURACY
5. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS PRIOR TO CONSTRUCTION
6. NO DISTURBANCE TO EXISTING GRADES WITHIN TREE PROTECTION AREA
7. ALL UTILITY TAPS, CONNECTIONS, AND EXTENSIONS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES
8. CONTOURS SHOWN ARE AT 0.5 FOOT INTERVALS
9. SIDEWALKS AREAS SHALL NOT EQUAL OR EXCEED A LONGITUDINAL SLOPE OF 5.0% UNLESS INDICATED ON PLANS
10. SIDEWALKS AREA CROSS SLOPES SHALL NOT EXCEED 2.0%
11. ALL SOD AREAS SHALL SLOPE TO DRAIN. SLOPES SHALL NOT EXCEED 4:1
12. CONTRACTOR TO VERIFY AND FIELD ADJUST GRADING AROUND PROPOSED LOW POINTS
13. CONTRACTOR IS RESPONSIBLE FOR CLEAN OUT OF EXISTING STORM DRAINAGE LOCATED WITHIN CONSTRUCTION LIMITS

GRADING LEGEND:

---	WALKWAY CENTER LINE
•	EXISTING SPOT ELEVATIONS
•	PROPOSED SPOT ELEVATIONS
○	LOW POINT
→	SLOPE DOWN



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LANDSCAPE IMPROVEMENTS

New Port Richey, Florida

Project No.: 2151616802

File Name: 2151616802-1S-103-GRADING PLAN

Scale: 1"=20'

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Dwn.	Dgn.	Chk.	YTTY:MM/DD

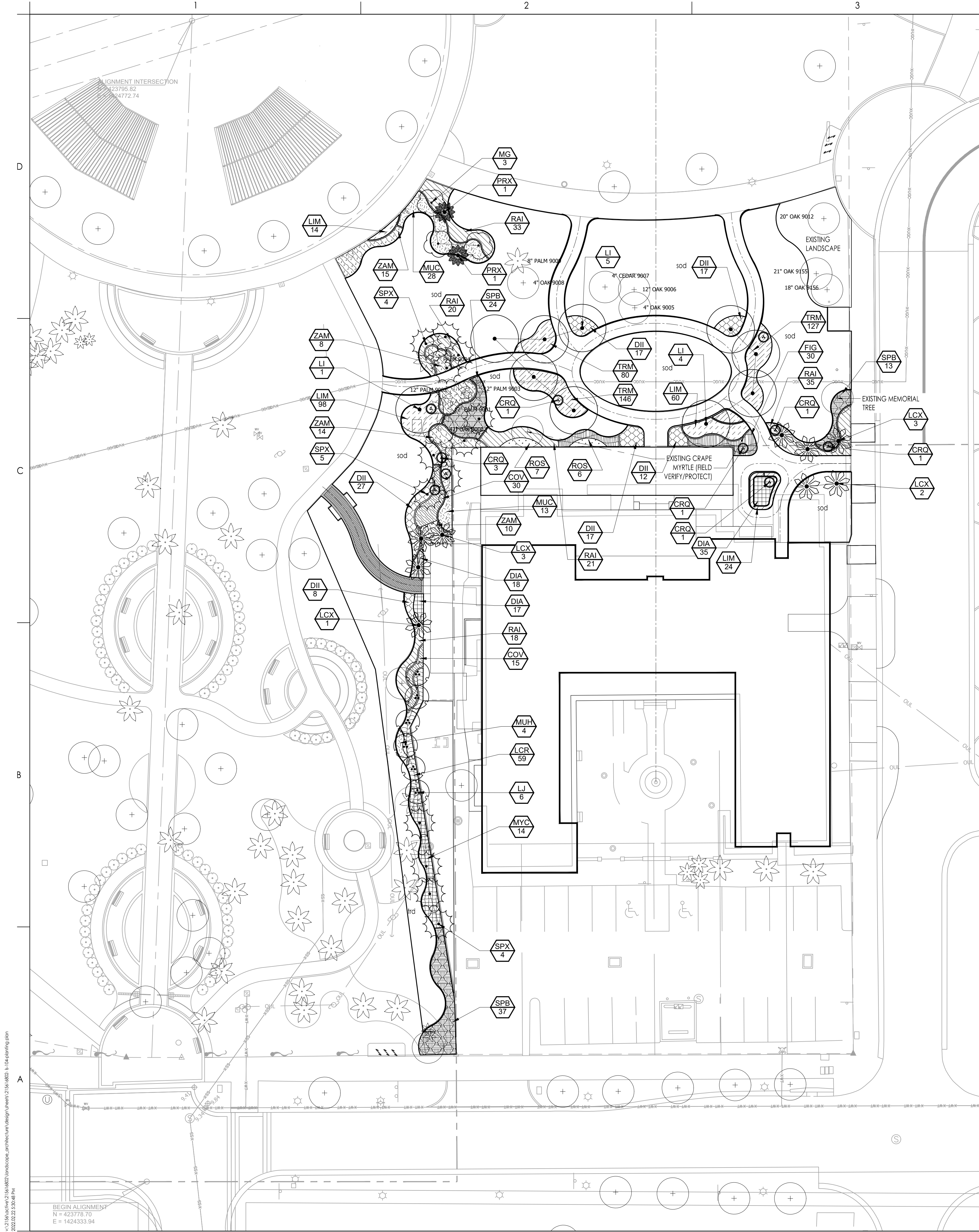
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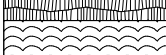


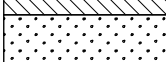
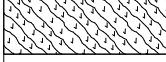
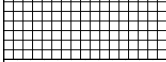
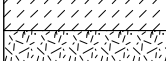





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PLANT SCHEDULE									
TREES	CODE	BOTANICAL NAME	COMMON NAME	CAL	SIZE		QTY	REMARKS	
	LI	Lagerstroemia indica 'Tuscarora'	Grape Myrtle	45 gal., multistem			10		
	LJ	Ligustrum japonicum	Japanese Privet	8'X8' Spr.	Multi-Trunk, Tree Form		6		
	MG	Magnolia grandiflora 'Little Gem'	Little Gem Dwarf Southern Magnolia	45 gal, full, 8'-9', O.C.			3		
PALMS	CODE	BOTANICAL NAME	COMMON NAME	CAL	SIZE		QTY	REMARKS	
	LCX	Livistona chinensis	Chinese Fan Palm	10' CT. Min.			9		
	PRX	Phoenix roebelenii	Pygmy Date Palm	30 Gal.	Triple Stem		2	5'-6' OA	
	SPX	Sabal palmetto	Cabbage Palmetto	12" Trunk Dia. Min.	Regenerated, 8'/11'/14' CT Ht. Mix. Slick		13		
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT	SIZE		QTY	REMARKS	
	CRQ	Crinum augustum 'Queen Emma'	Queen Emma Crinum Lily	7 gal	36" Ht., Full, OC - As Shown		10		
SHRUB AREAS	CODE	BOTANICAL NAME	COMMON NAME	CONT	SIZE		SPACING	QTY	REMARKS
	GOV	Codiaeum variegatum 'Mammy'	Mammy Croton	3 gal	12'-16" Ht. x 12'-16" Spr., Full		24" o.c.	66	
	DII	Dielsia indioides	White African Iris	3 gal	full, 30" o.c.		24" o.c.	98	
	FIG	Ficus microcarpa 'Green Island'	Green Island Indian Laurel Fig	3 gal	10'-14" Ht., Full		24" o.c.	48	
	LOR	Loropetalum chinense rubrum	Purpleleaf Fringe Flower	3 gal	full, 36" o.c.		18" o.c.	59	
	MUH	Muhlenbergia capillaris	Pink Muhly	3 gal	18" OA Ht. Full		36" o.c.	4	
	MYC	Myrica cerifera	Wax Myrtle	7 Gal.	4' Ht. x 4' Spr., Full		48" o.c.	14	
	RAI	Rapheiolepis indica 'Clara'	Clara Indian Hawthorn	3 gal	12'-16" Ht., Full Pot		30" o.c.	127	
	ROS	Rosa x 'Knockout' TM	Knock out Rose	3 gal	18-24" Ht. x 18" Sp., Full		30" o.c.	13	
	ZAM	Zamia pumila	Coontie Cycad	7 gal	Full, 12"-30"		36" o.c.	60	
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	CONT	SIZE		SPACING	QTY	REMARKS
	DIA	Dianella tasmanica 'Blueberry'	Blueberry Flax Lily	3 gal	12'-18" Ht. x 18" Spr, Full		18" o.c.	70	
	LIM	Liriope muscarum 'Evergreen Giant'	Evergreen Giant Liriope	1 gal	Full		18" o.c.	196	
	MUC	Muhlenbergia capillaris	Muhly Grass	3 gal	full, 30" o.c.		36" o.c.	41	
	SPB	Spartina bakeri	Sand Cord Grass	3 gal	full, 30" o.c.		36" o.c.	74	
	TRM	Trachelospermum asiaticum 'Minima'	Minima Asiatic Jasmine	1 gal	Full, 15" o.c.		15" o.c.	378	

	WALKWAY CENTER LINE
	CONCRETE WALKWAY
	RECLAIMED BRICK WALKWAY
	PROPOSED LARGE/MEDIUM TREES
	PROPOSED PALMS
	PROPOSED SMALL TREES
	EXISTING TREES TO BE PRESERVED
	EXISTING PALMS TO BE PRESERVED
	EXISTING MEMORIAL TREES
	LAWN AREA
	SHRUB AREA

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Consultant	By	Appd	Revision	Issued

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Client/Project  
CITY OF NEW PORT RICHEY

HISTORIC HACIENDA HOTEL/SIMS PARK  
LANDSCAPE IMPROVEMENTS

New Port Richey, Florida

Project No.: 215616802

File Name: 215616802\_15-104PLANTING PLAN

Scale: As Noted

MS Dwn. MS Dign. LG Chkd. YYYY.MM.DD

Title  
PLANTING PLAN

Revision: 0

Sheet: 1 of

Drawing No.

**LS-104**



