

Form Based Land Development Codes & Context Based Design

Tara Salmieri
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City of Eustis

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Crosland Development

October 29, 2009



GLATTIG JACKSON KERCHER ANGLIN
we plan and design livable communities



Disciplines

Landscape Architecture
Urban Design
Transportation Planning
Land Use Planning
Environmental Sciences
Wayfinding and Graphics

Orlando

West Palm Beach

Atlanta

Denver

www.glatting.com



Glattig Jackson Services: Planning to Policy / Concept to Construction



**Urban Design &
Redevelopment**



**Main Streets /
Historic Infrastructure**



**Corridor
Planning**



**Redevelopment/
Infill Housing**



**Neighborhood
Planning**



**Livable
Transportation**



**Parks, Trails and
Schools**



**Wayfinding and
Environmental
Graphics**

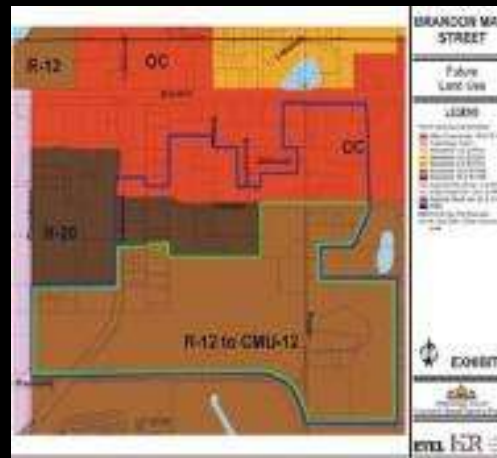
Glatting Jackson Services: Regional Planning and Regulatory Frameworks



Frances Chandler Marino – Director of Regional Planning. Comprehensive Planning



Tara Salmieri, AICP/FBCI – Senior Associate Context Based Land Development Codes



Glatting Jackson Services: Redevelopment Planning



Glattig Jackson Services: Redevelopment Planning



Glattig Jackson Services: Redevelopment Planning



Glattig Jackson Services: Character Places



Gladding Jackson Services: Character Places



Gladding Jackson Services: Mixed Use Places



Glattig Jackson Services: Restored Places



Development Gaps

Vision

(Commonly held Objectives)

Streets / Blocks

(Access)

Infrastructure

(Utilities Service and Capacity)

Property

(Framework for Consolidated Assembly or Incremental Change)

Parking

(Philosophy and Construction Cost)

Beautification

(Parks, Streets, Bldgs)

Land Use Structure and Flexibility

(Density / Uses / Development Stds)



Is this a Use or Form issue?



'they will do too little'



‘they made me do too much’





**Any solution for regulating design should be based on the communities
VALUES and reinforce the desired sense of PLACE.**

**It's easiest to settle on a lowest
common denominator.**

Allowed by Code

Not allowed by Code



Mutually Supportive Goals "quid pro quo"

DEVELOPER'S INTEREST

Financial Performance
Marketable "Places"
Flexibility

- **Density**
- **Use**
- **Process**

***Predictability, Clarity,
Simplicity***

***"Something I can take to the
Bank"***

COMMUNITY INTEREST

Tax Base
Vibrant Places
**Sustainable
Infrastructure**

- **Safe**
- **"Livable"**

***Predictability,
Clarity, Simplicity***

***"Something I can take
to the Community"***











Tara Salmieri, AICP, FBCI

Senior Planner, Glatting Jackson Kercher Anglin

Tara has taken a lead role in urban design and implementation of policy that creates community supported, context sensitive design solutions for redeveloping suburban and urban environments. Tara specializes in the creation of form based land development regulations ranging from redevelopment, infill and large Greenfield projects with an emphasis on ease of process and implementation for cities and counties to achieve the vision of their community.

Significant recent projects include City of Sanford Downtown Design Ordinance, Jacksonville's Historic Riverside Avondale Zoning overlay, City of Eustis Form Based Code and a Vision and Implementation Design Code for Jacksonville Beach. Tara is a certified from the Form Based Code Institute on form based coding , a member of the American Institute of Certified Planners and the Chairperson of the Board of Zoning Adjustment for the City of Orlando.

We plan and design
livable communities.



FORM BASED CODE

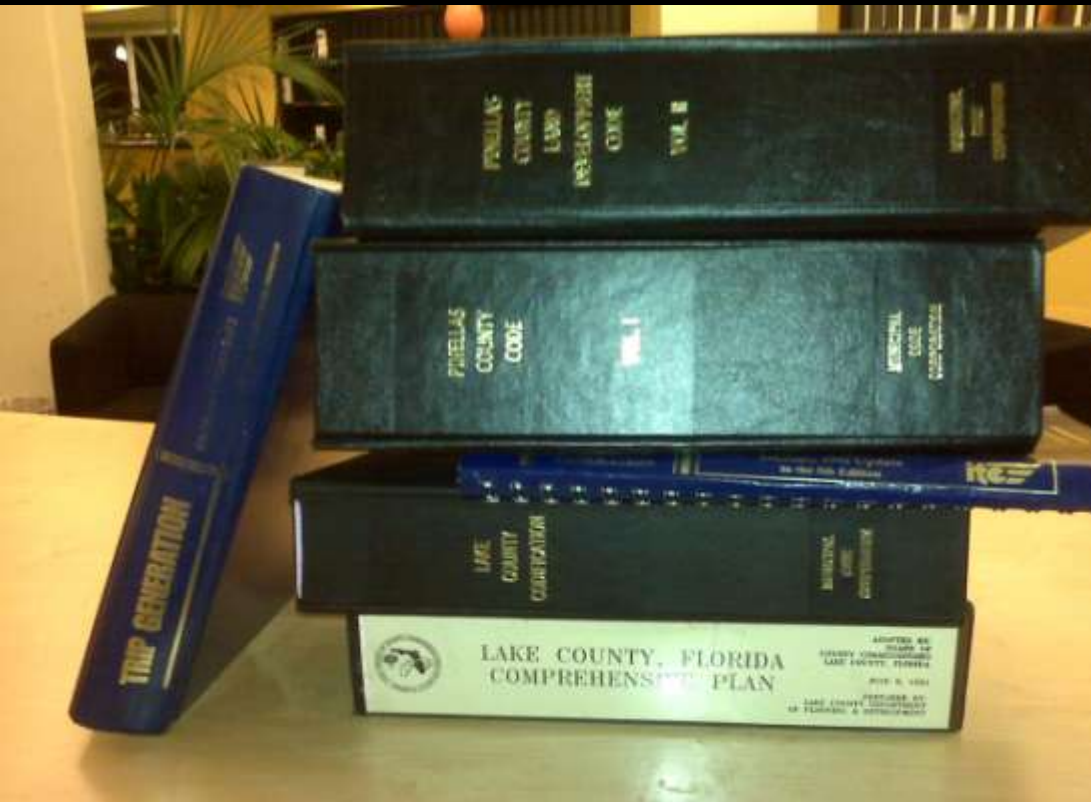


Form-Based Code:

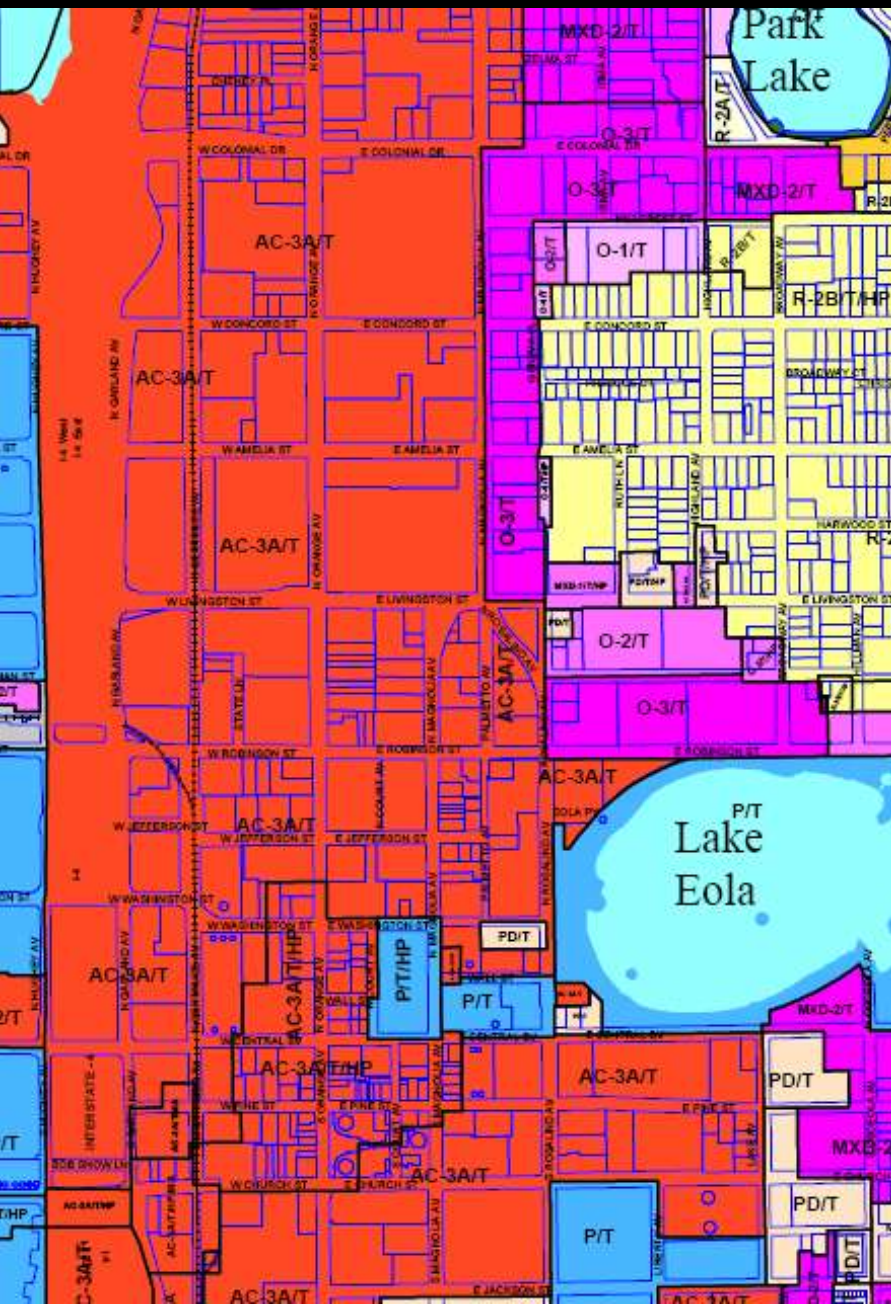
Method of regulating
the physical aspects (the open space, buildings, & streets
of the _____ (city, town, downtown, special district, ...)
to achieve _____ (better commerce, healthier people,
less resource consumption, context-
oriented character, ...)

How do communities develop?

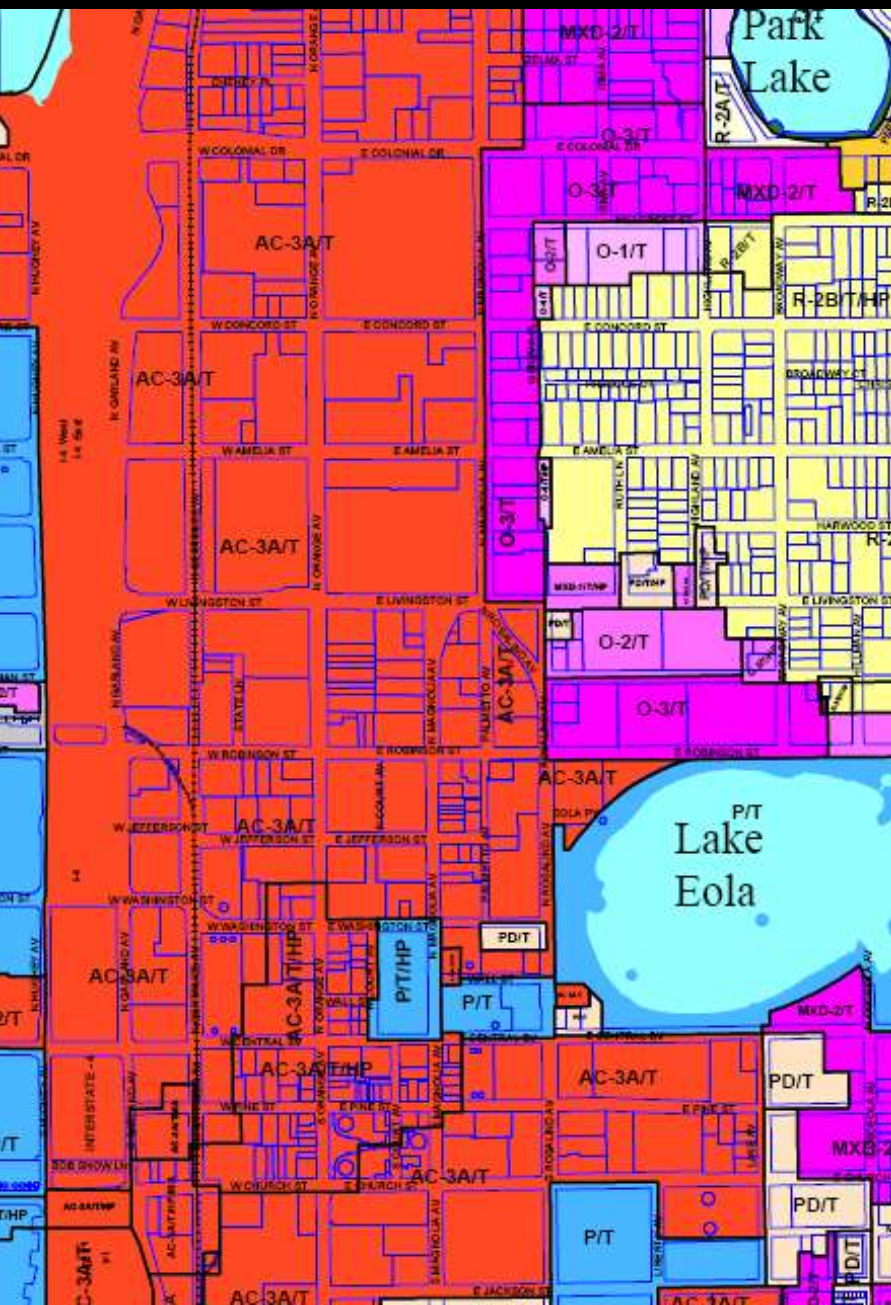
Conventional Development Process



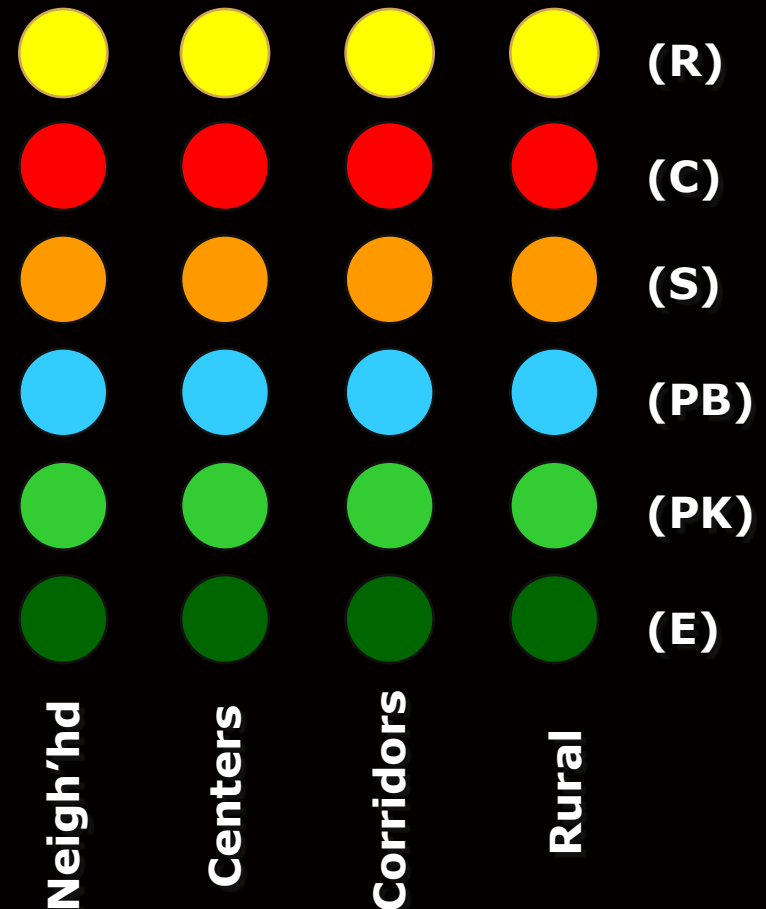
Zoning Map provides areas all over the city to regulate the same way – C1



Zoning Map provides areas all over the city to regulate the same way – C1



Form Based Code is a tool to describe the desired character for land uses based on community values and the surrounding context



Vision Plans

MASTER PLAN

VISION

Sanford is a beautiful waterfront city. It maintains a vibrant historic downtown surrounded by diverse, lively neighborhoods. It respects its intimate connection to the natural wonder of the St. John's River. Downtown Sanford provides many opportunities for residents, visitors, and investors. It is a great place to live, shop, work, and to enjoy leisure time.



Infill redevelopment



STRATEGIES

Connections - Connect people to the waterfront and downtown.

- Create great pedestrian streets from the neighborhoods to downtown and the waterfront
- Provide shaded amenities, bike lanes, and sidewalks leading to the water
- Establish a waterfront presence on 1st Street
- Build relationship's with the airport, train stations, and places on the St. John's River

Public Access - Maintain and reinforce physical, visual, and perceptual connections to the water.

- Provide parkway streets from First Street to the Riverwalk
- Reestablish the marina as a civic space
- Create activity nodes along the water
- Allow people without boats access to the water

Mainstreets - Ensure the vitality of First Street and focus development on feature streets.

- Continue to encourage Mainstreet merchants to work and market together
- Provide incentives and assistance for rehabilitating historic structures
- Improve lighting, wayfinding, and other infrastructure for serving customers
- Promote pedestrian scale urban form by designing streets for pedestrians first

Residential/Mixed Use Infill - Encourage downtown living.

- Bring urban living to Downtown Sanford
- Provide appropriate incentives for projects to meet community values
- Ensure projects contribute to the vision for downtown
- Create or modify codes to be sensitive to the difficulties to rehabilitating historic structures

Gateways and Districts - Celebrate entries to the diverse uses of downtown.

- Celebrate entries to the downtown and the districts within
- Reinforce downtown edges as connections to adjacent uses
- Respect the different levels of intensity, use, and scale among the districts
- Foster and build upon the unique character areas within downtown

Downtown Parks - Provide access to quality public parks.

- Reinforce and celebrate Fort Mellon Park as the main civic open space
- Treat the marina like a park
- Reinforce park connections to downtown and the neighborhoods
- Link lake activities to the parks by connecting to the Riverwalk





**CONDOMINIUMS
AVAILABLE**

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Below the main advertisement, there are several smaller images: a red and white construction vehicle, a white building, and a white building with a large archway.

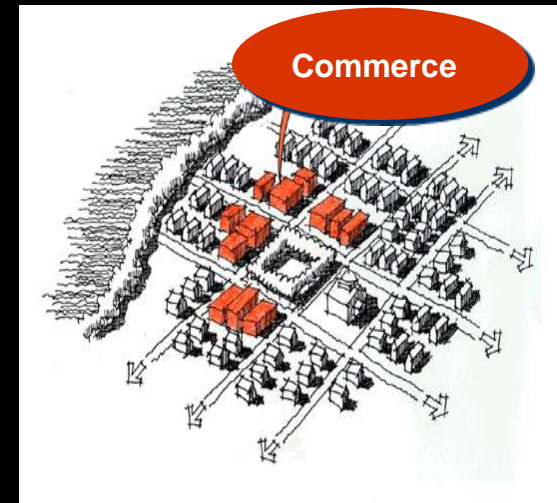
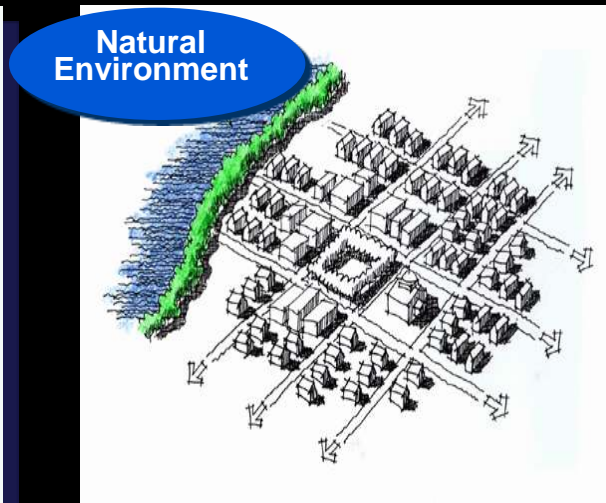
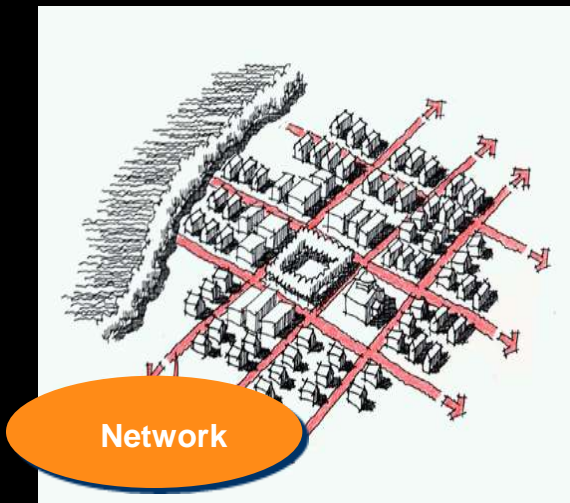
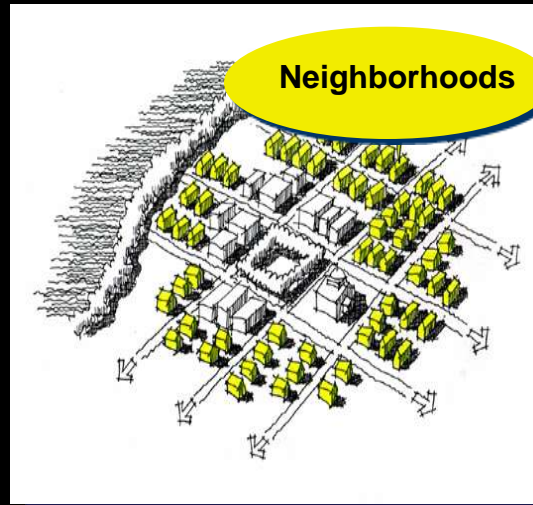




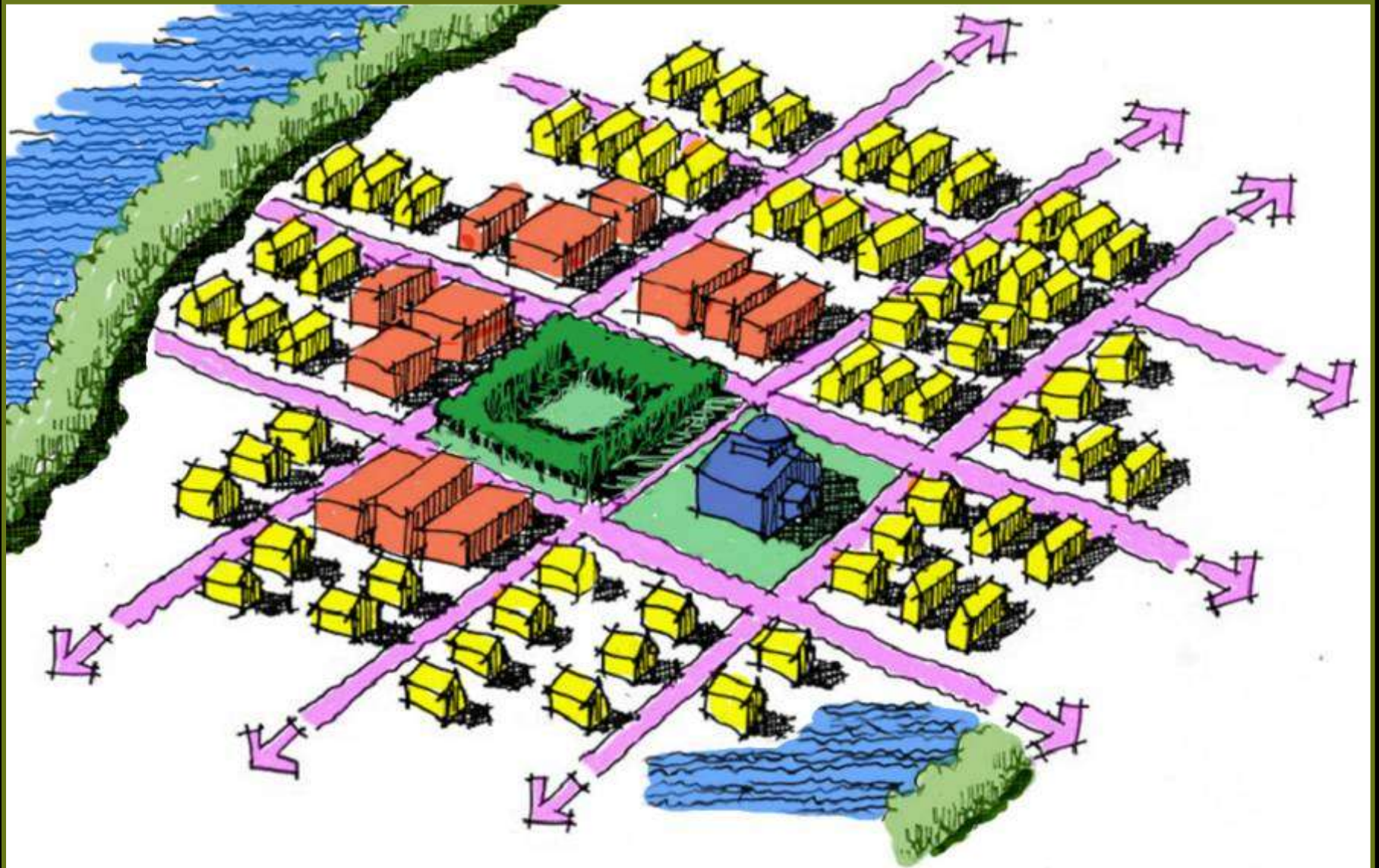
Moratorium



Elements of a “Place” = Generalized Land Uses



Fundamental Land Use Framework



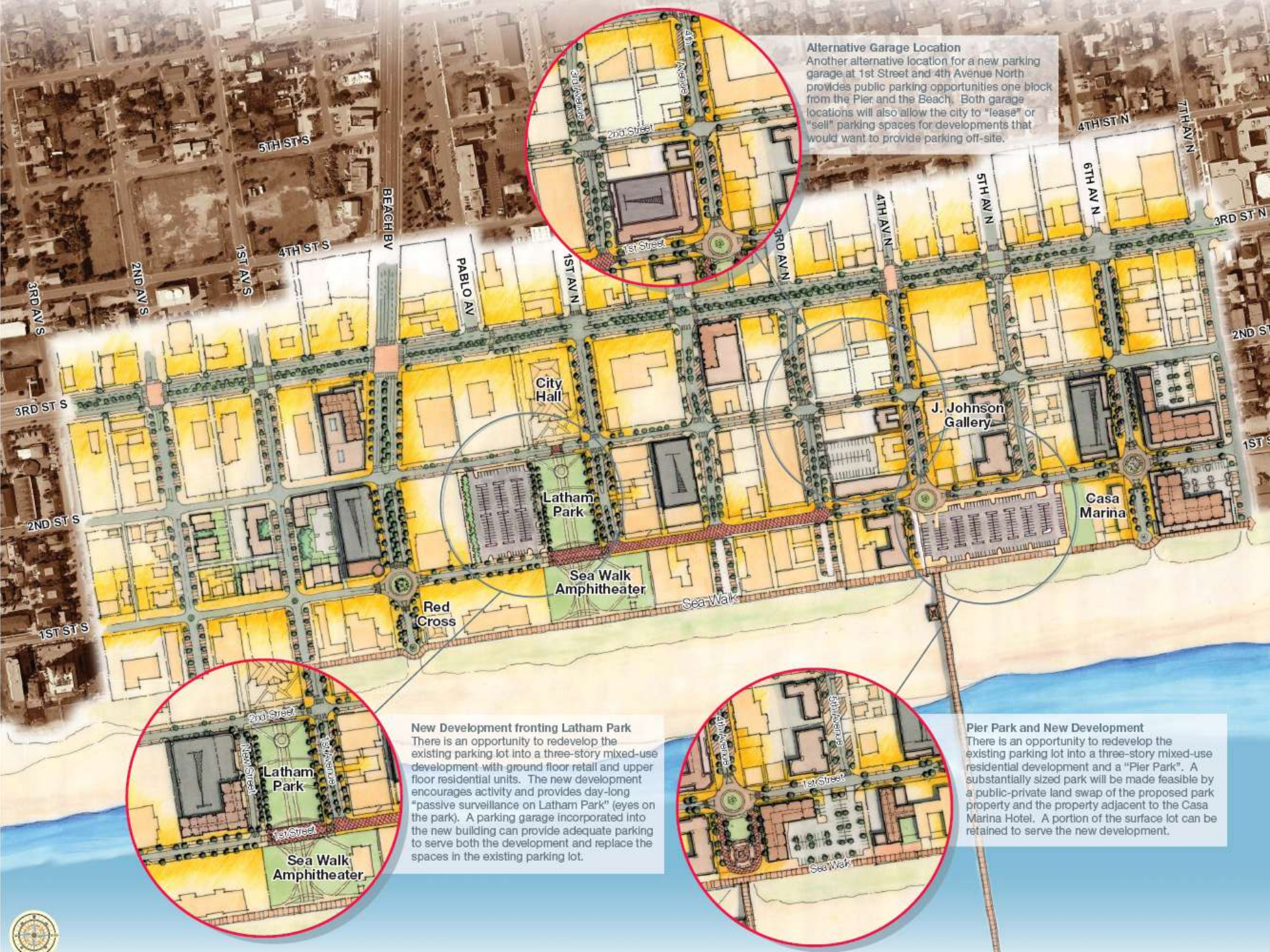
Form-Based Code:

Simple way (easy to understand, clear, less volume ...)

of streamlining (faster and more effective)

development and redevelopment (i.e. change)

such that it is in keeping with the community's values and aspirations (i.e. supportable, predictable, not reactionary)



Alternative Garage Location

Another alternative location for a new parking garage at 1st Street and 4th Avenue North provides public parking opportunities one block from the Pier and the Beach. Both garage locations will also allow the city to "lease" or "sell" parking spaces for developments that would want to provide parking off-site.

New Development fronting Latham Park

There is an opportunity to redevelop the existing parking lot into a three-story mixed-use development with ground floor retail and upper floor residential units. The new development encourages activity and provides day-long "passive surveillance on Latham Park" (eyes on the park). A parking garage incorporated into the new building can provide adequate parking to serve both the development and replace the spaces in the existing parking lot.

Pier Park and New Development

There is an opportunity to redevelop the existing parking lot into a three-story mixed-use residential development and a "Pier Park". A substantially sized park will be made feasible by a public-private land swap of the proposed park property and the property adjacent to the Casa Marina Hotel. A portion of the surface lot can be retained to serve the new development.

Form Standards

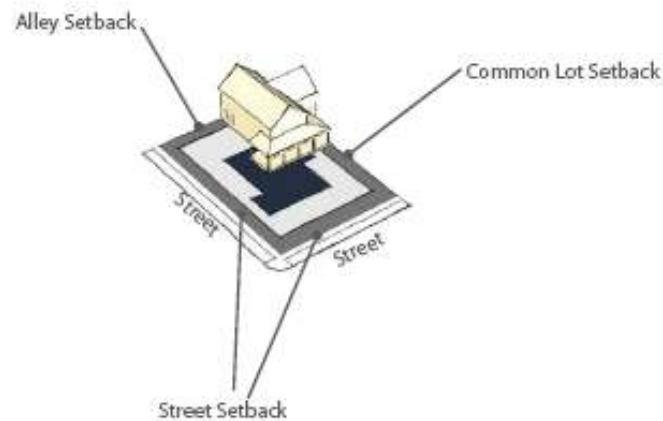
Street Typologies



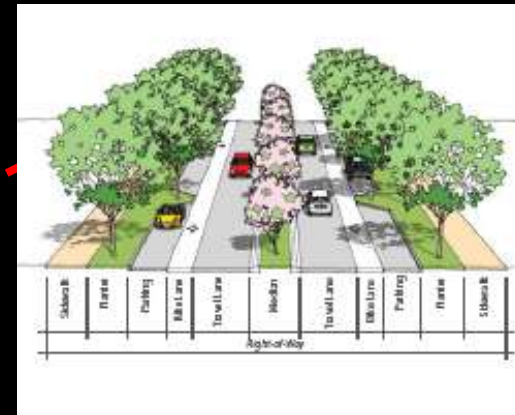
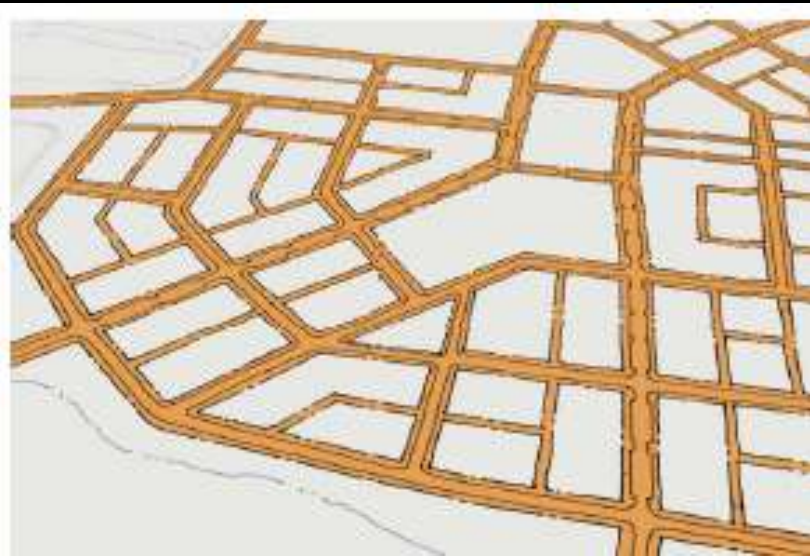
Building Lot Typologies



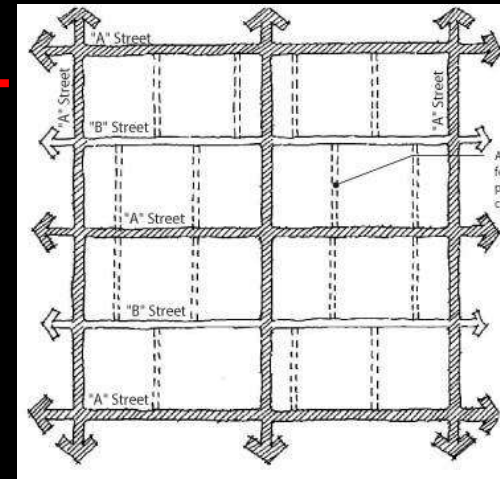
Park and Open Space Typologies



Circulation (Streets, Blocks)



New
Development



Redevelopment

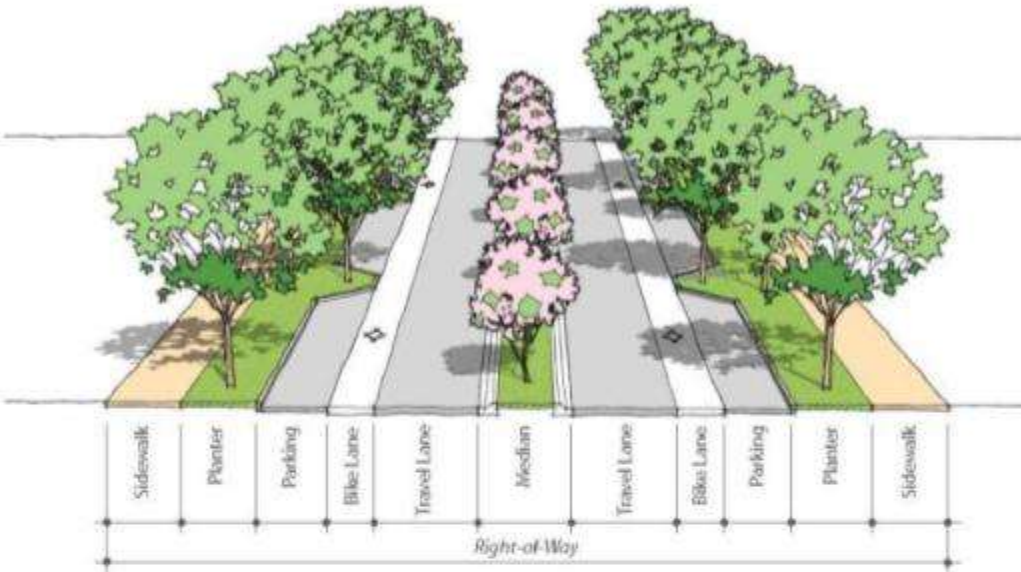


Infill

- Complete Streets
- Connectivity Standards (vehicle and pedestrian connections between developments)
- Block Standards governing block sizes by area type.

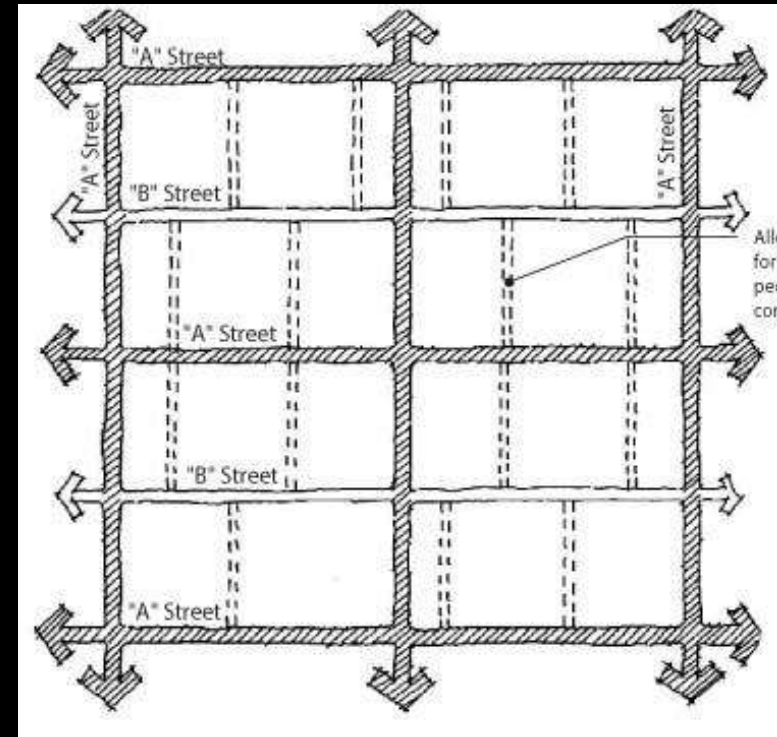
AVENUE

a limited distance, free movement thoroughfare connecting locations within an urbanized area

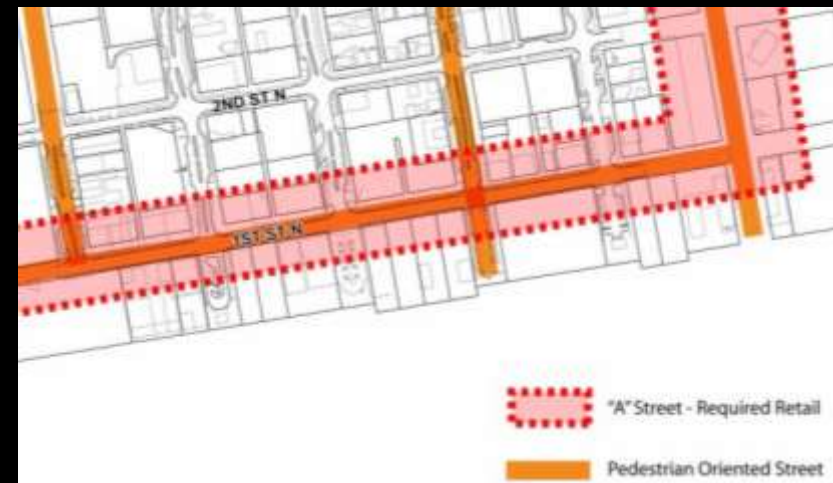


AVENUE		
DESIGN PARAMETERS	MIN	MAX
Target Speed	35	45*
Movement	Free	
TRAVELWAY CONFIGURATIONS	MIN	MAX
Travel Lanes (each direction)	1	2
Turn Lanes	—	1
Bike Facility	Bike Lane or Shared Outside Lane	
LANE DIMENSIONS	MIN	MAX
Travel Lane(s) Width (ft)	10	12
Outside Lane Width (no bike lane) (ft)	14	14
Bike Lane Width (ft)	4	5
Continuous Left Turn Lane Width (ft)	11	14
Parking Lane Width (with bike lane) (ft)	7	7
Parking Lane Width (no bike lane) (ft)	7	8
CURBS	MIN	MAX
Outside Curb Type	Type D or F	
Median Curb Type	Type B or E	
MEDIANS	MIN	MAX
Allowable Median Type	CLTL, Narrow or Wide	
Narrow Median Width (ft) (no landscape)	4	6
Wide Median Width (ft)	12	30
PUBLIC FRONTAGE	MIN	MAX
Planter Type	Planter and/or Tree Wall	
Planter Width (ft)	4	—
Walkway Width (each side) (ft)	8	—
RIGHT-OF-WAY	MIN	MAX
Right of Way Width (ft)	80	100

* parking is prohibited when target speed is over 25 mph



Redevelopment



Infill

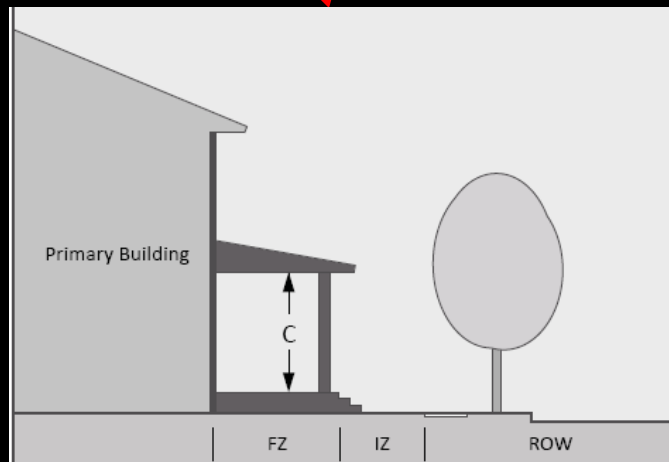
New
Development

Building Types Standards

Redevelopment

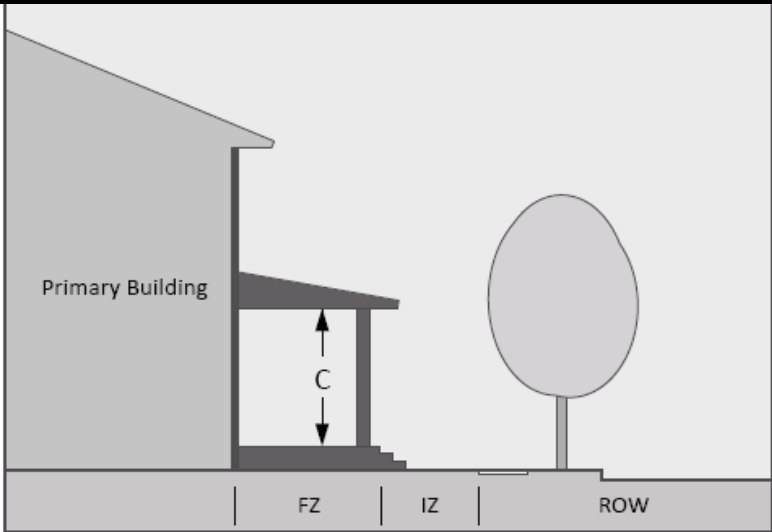


Infill



New
Development

Apartment Building



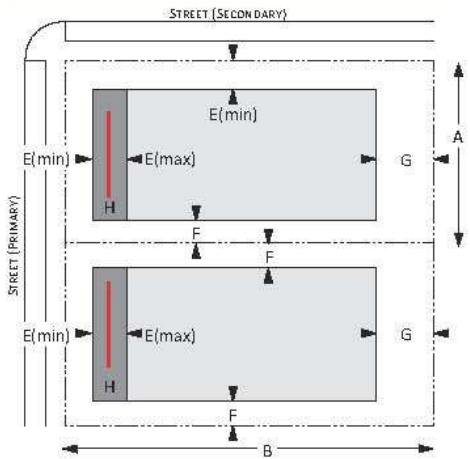
AB

APARTMENT BUILDING

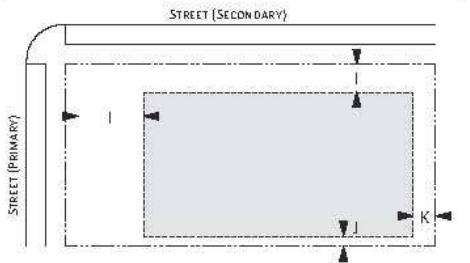
A building lot located and designed to accommodate multiple dwellings above or beside each other in a building that occupies most of its building lot width and is placed close to the sidewalk.

	URBAN		SUBURBAN	
LOT REQUIREMENTS	MIN	MAX	MIN	MAX
A - Lot Width (ft)	40	150	100	300
B - Lot Depth (ft)	100	300	100	300
C - Lot Size (sf)	4,000	40,000	10,000	90,000
D - Lot Coverage (%)	—	90	—	90
BUILDING ENVELOPE	MIN	MAX	MIN	MAX
E - Street Setback (ft)	Refer to specific street type for setback:			
- Type I	10	20	10	20
- Type II	10	20	10	20
- Type III	10	20	10	20
- Type III-A	5	10	5	10
- Type III-B	5	10	5	10
- Local	5	20	5	20
F - Side Setback (ft)	5	—	10	—
G - Rear Setback (ft)	15	—	25	—
H - Frontage Buildout (%)	60	80	60	80
ACC STR ENVELOPE	MIN	MAX	MIN	MAX
I - Street Setback (ft)	30	—	30	—
J - Side Setback (ft)	10	—	25	—
K - Rear Setback (ft)	10	—	10	—
L - Building Footprint (sf)	—	800	—	800
BUILDING HEIGHT	MIN	MAX	MIN	MAX
M - Principal Building (st)	2	4	2	4
N - Accessory Structure(s) (ft)	—	30	—	30
PARKING PROVISIONS				
Location	Zone 2 and 3		Zone 1,2,3, and 4	
PRIVATE FRONTAGES				
Allowable Frontages	P, F, S		P, F, S	

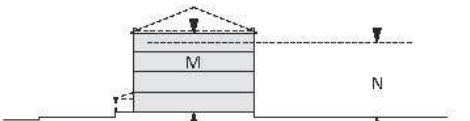
LOT REQUIREMENTS AND BUILDING ENVELOPE



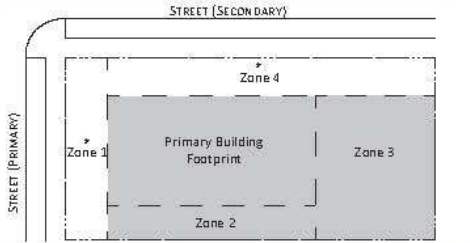
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT

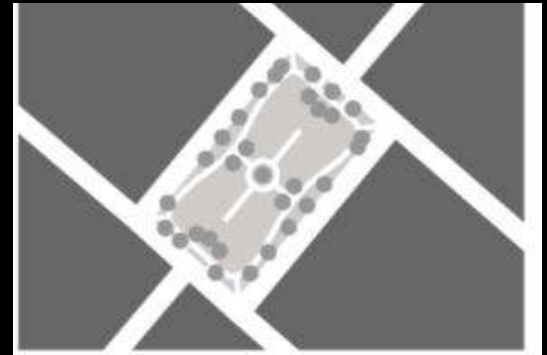


PARKING LOCATION



* Zone 1 and 4 suburban districts only

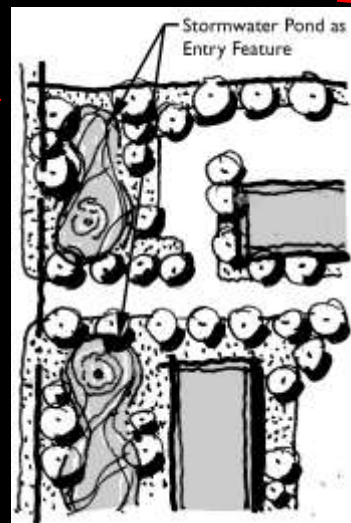
Open Space and Park Types



Redevelopment



New
Development



Infill

Open Space and Park Types

Governing building type and location of spaces and/or parks

Park Types

General Description

(identifies type of park)

Size Criteria (min/max)

Location Criteria (service area)

Example Facilities (typical)

Open Space (environmental areas, stormwater facilities, etc deals with building placement, streets, etc)



Form Standards

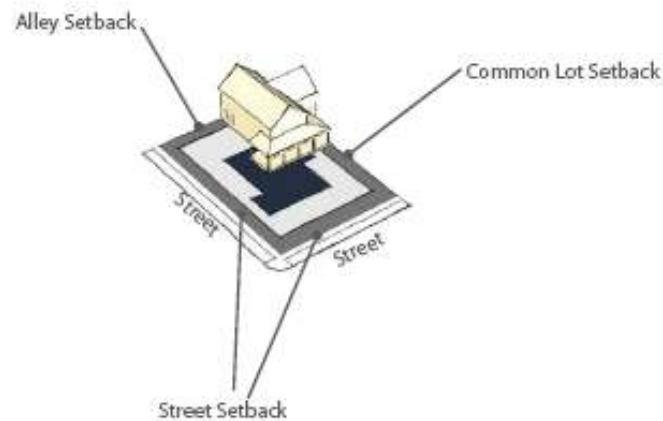
Street Typologies



Building Lot Typologies

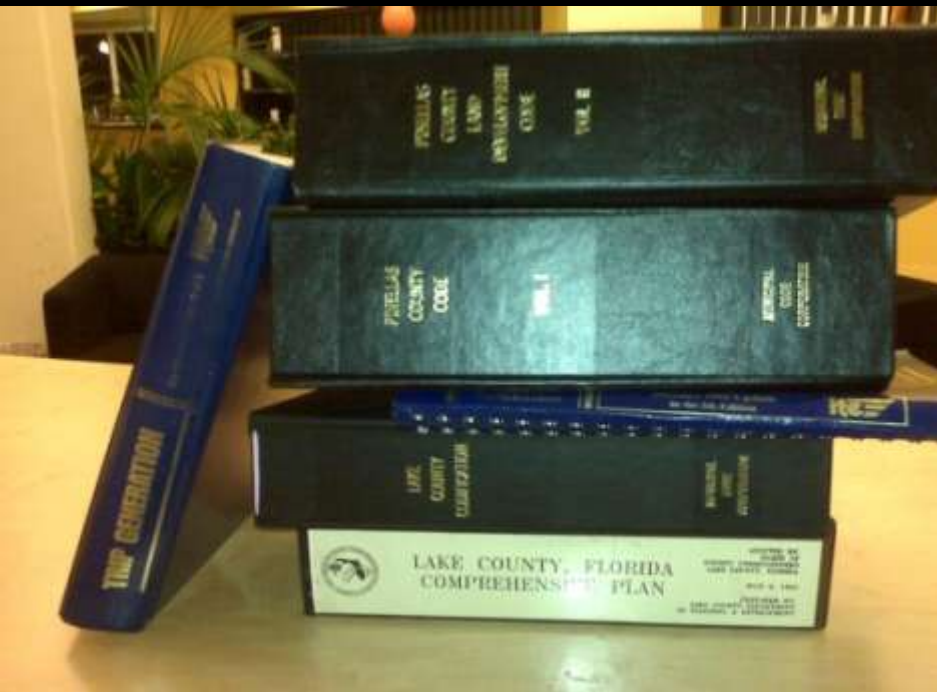


Park and Open Space Typologies



How do communities develop?

Conventional Development Process



Form Based Code Process



Form-Based Code:

Regulating the place
in accordance with
the community's
values.



More Information?



We plan and design
livable communities.

FORM BASED CODE



Bruce Kistler, AICP
Manager of Current Planning
City of Lakeland

Bruce Kistler is Manager of Current Planning for the City of Lakeland. In this capacity, he is responsible for zoning, development review, neighborhood outreach, historic preservation, and the city's Land Development Regulations. Mr. Kistler is a member of the American Institute of Certified Planners and was the principal author of a plan for wireless communication facilities that won an Award of Excellence from the Florida Chapter of the American Planning Association in 1997. Prior to coming to Lakeland, Mr. Kistler held planning positions with the City of Lake Wales, the Central Florida Regional Planning Council and Polk County.



Lakeland's New Zoning Code

Getting real about form-based codes...

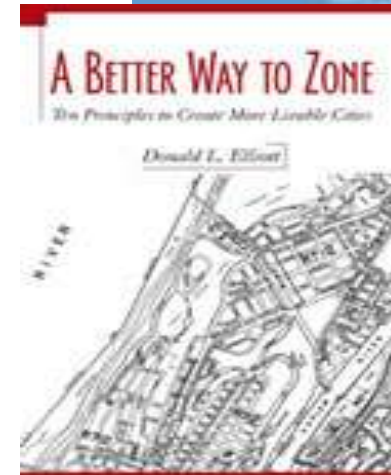
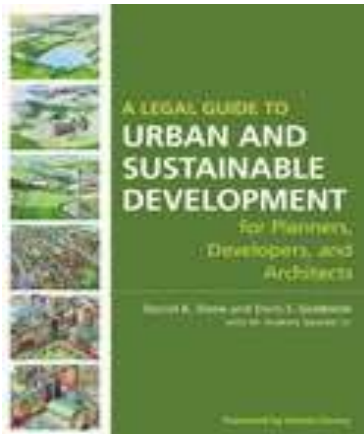
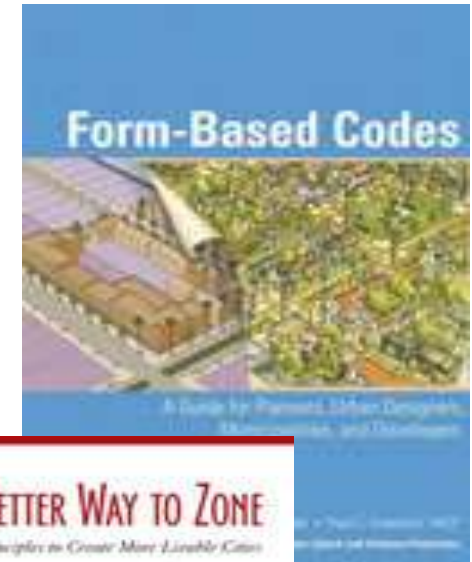
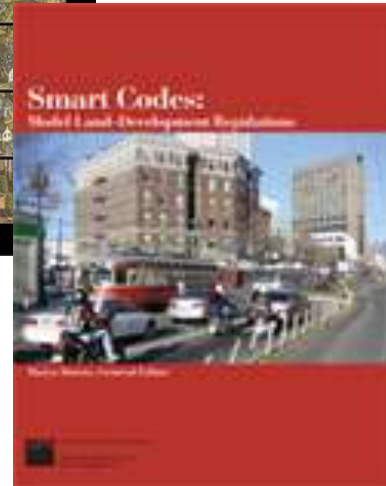
Bruce Kistler, AICP
Manager of Current Planning



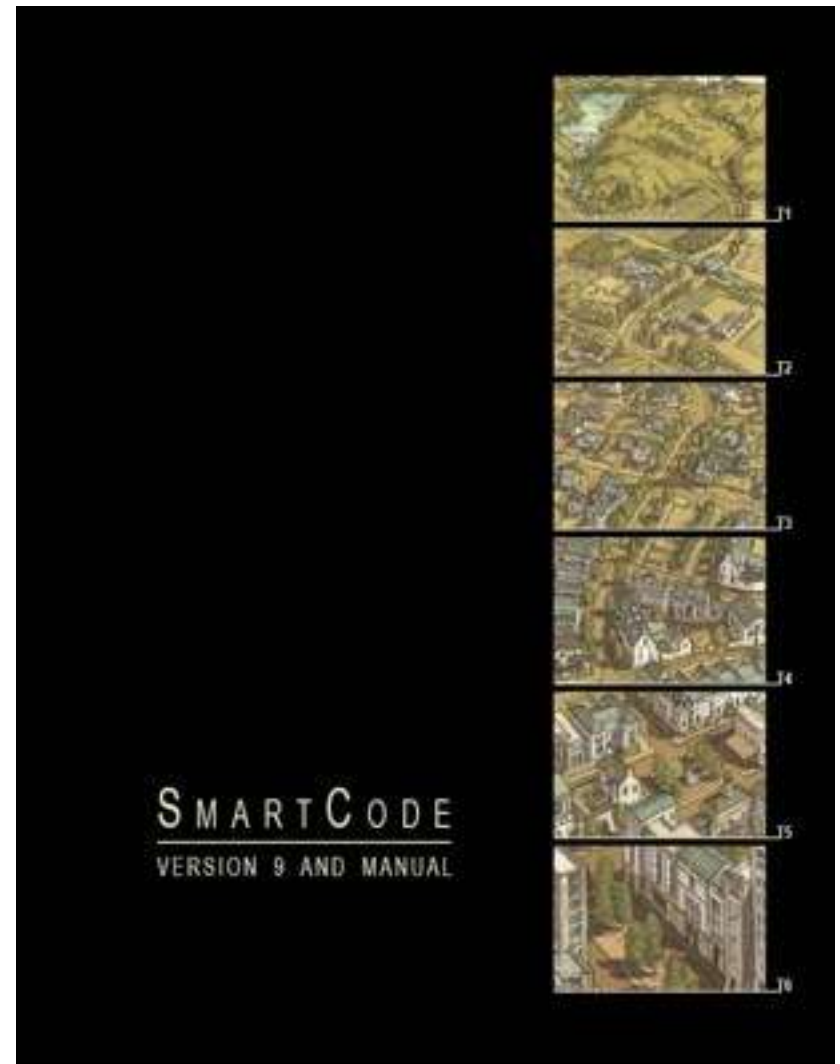
LAKELAND: The Perfect Laboratory



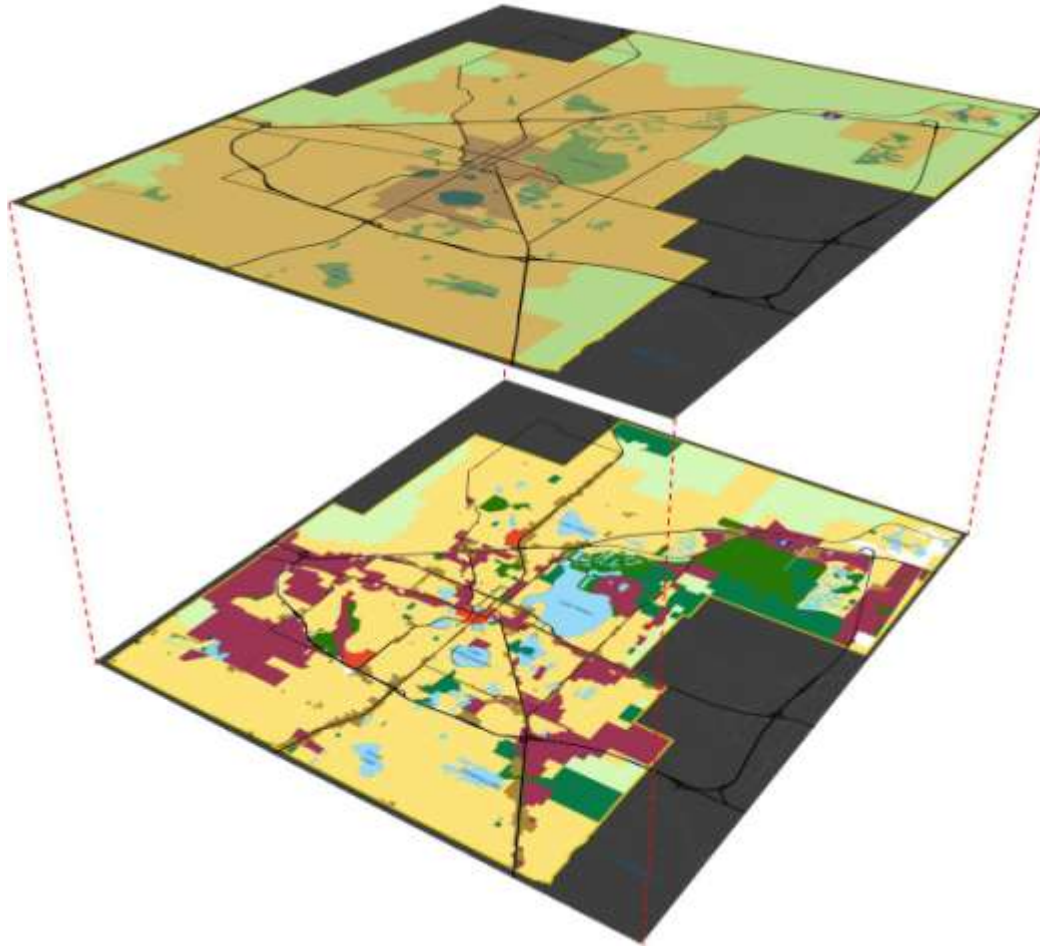
Form-based codes: The next wave



The Smart Code: Off-the-shelf



Design Districts: A better framework?



Urban



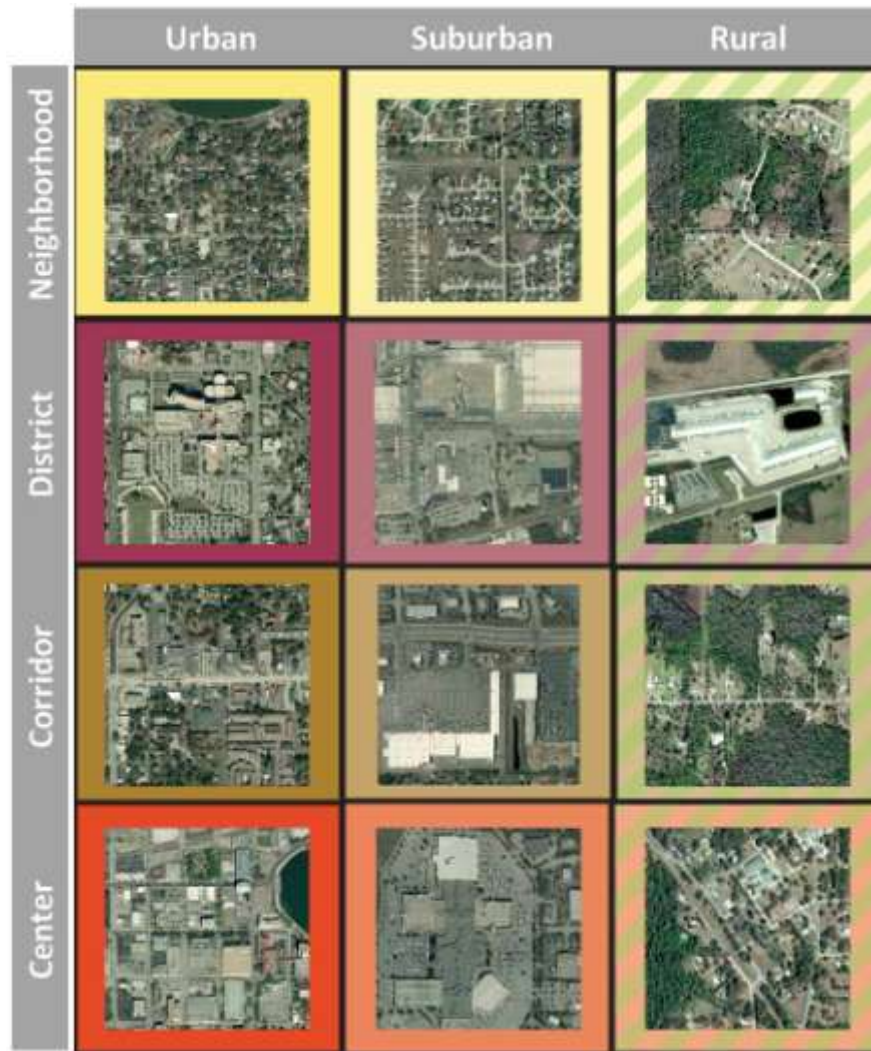
Suburban



Rural



Design Districts

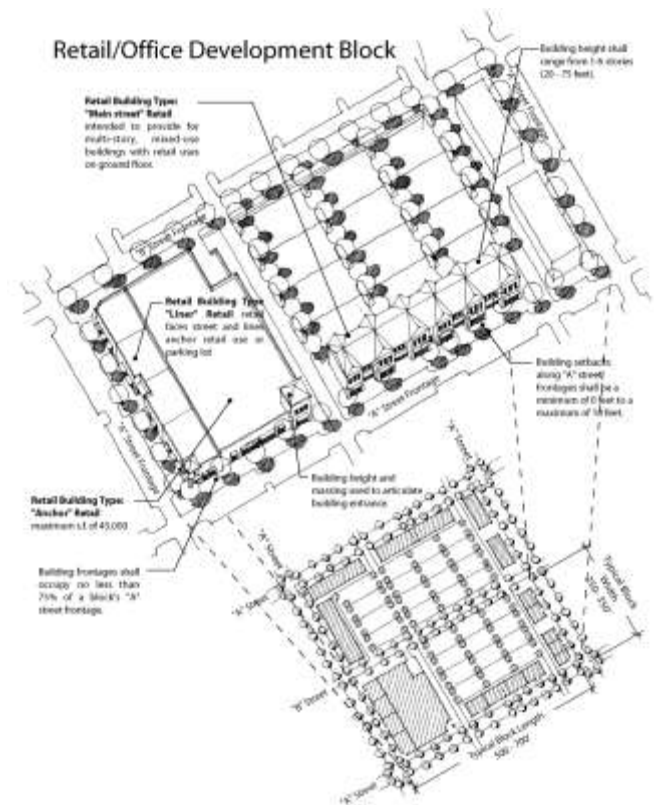
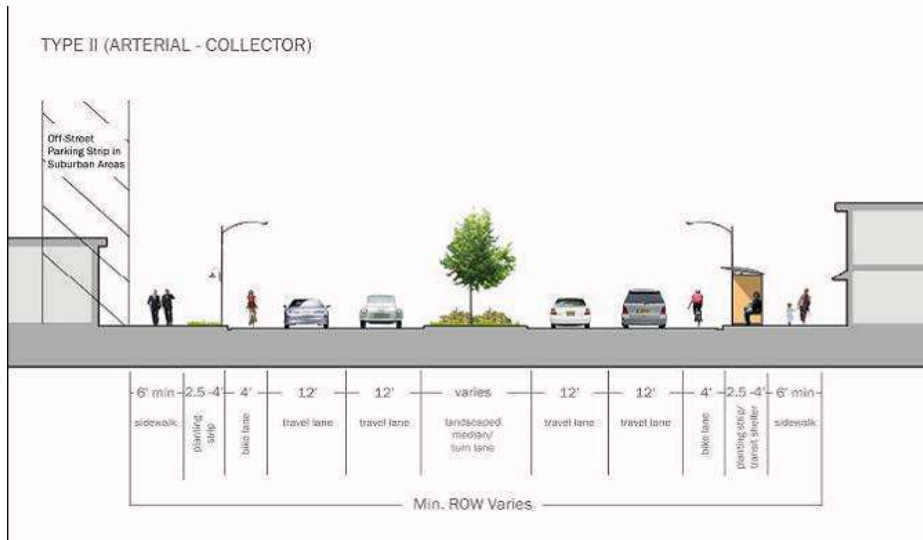


Use and form are both important



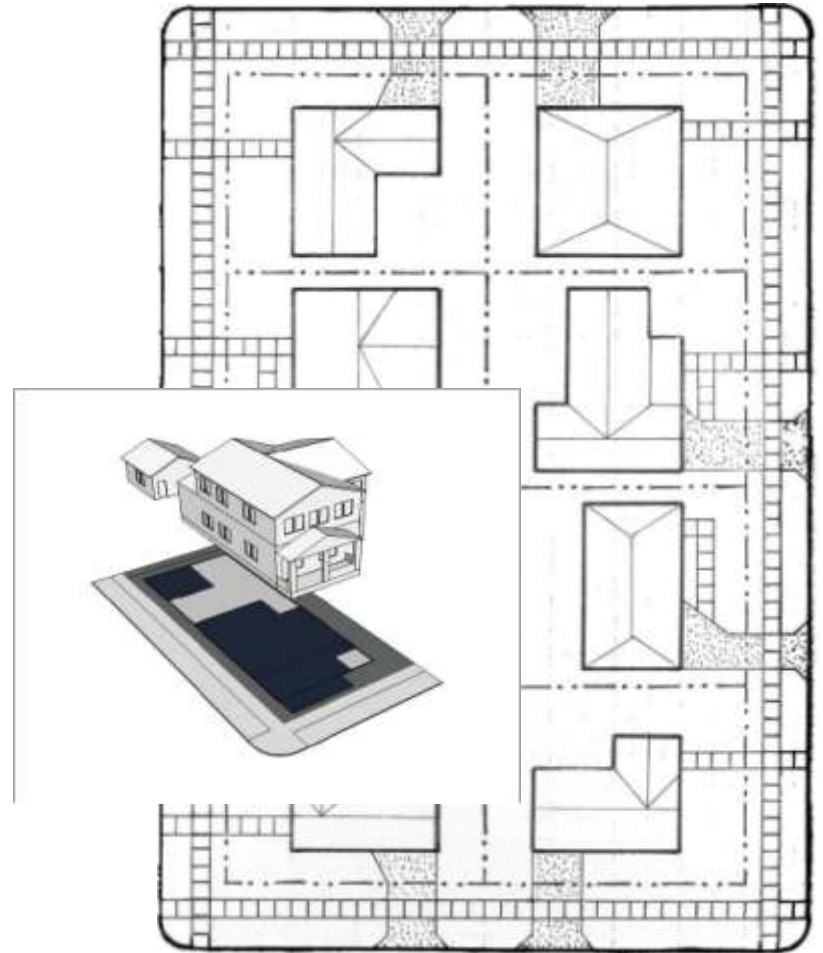
Block Level Standards:

- Collector street grid / connectivity
- Block size
- Open space and parks



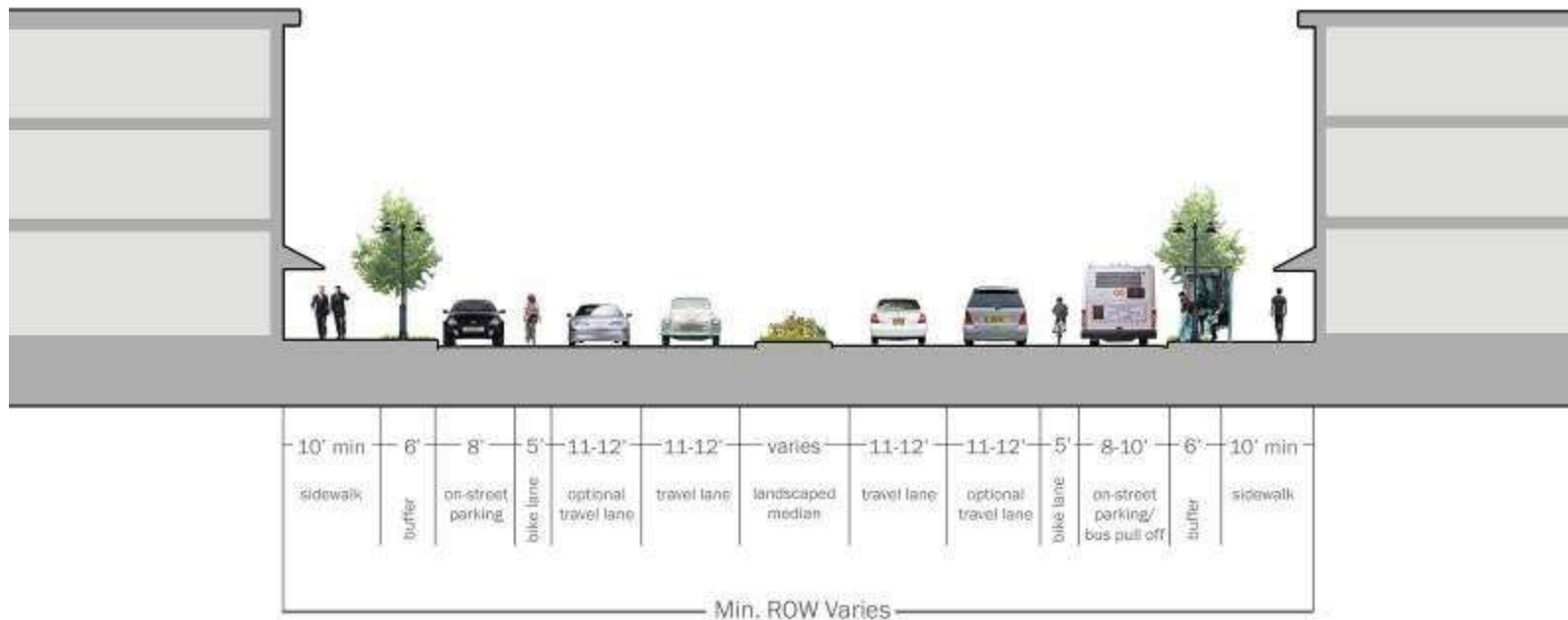
Site Level Standards:

- Lot size
- Building envelope
- Building height
- Building frontage
- Site layout
- General design standards
- Landscaping
- Parking standards



Street Types

TYPE III (MINOR ARTERIAL/COLLECTOR)
URBAN CORE

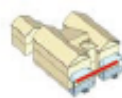


Building Types

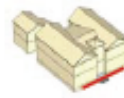
DQ DUPLEX/ QUADRAPLEX

A building lot located and designed to accommodate a detached building which resembles a large house but which contains multiple dwellings above and beside each other.

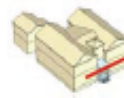
	URBAN		SUBURBAN	
LOT REQUIREMENTS	MIN	MAX	MIN	MAX
A - Lot Width (ft)	40	70	30	70
B - Lot Depth (ft)	100	120	110	130
C - Lot Size (sf)	4,000	8,400	3,300	10,000
D - Lot Coverage (%)	—	60	—	60
BUILDING ENVELOPE	MIN	MAX	MIN	MAX
E - Street Setback (ft)	Refer to specific street type for setback:			
- Type I	30	20	30	20
- Type II	30	20	30	20
- Type III	30	20	30	20
- Type III-A	5	10	5	10
- Type III-B	5	10	5	10
- Local	5	20	5	20
F - Side Setback (ft)	5	—	8	—
G - Rear Setback (ft)	20	—	25	—
H - Frontage Buildout (ft)	60	80	60	—
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX	MIN	MAX
I - Street Setback (ft)	30	—	30	—
J - Side Setback (ft)	30	—	25	—
K - Rear Setback (ft)	30	—	30	—
L - Building Footprint (sf)	—	800	—	800
BUILDING HEIGHT	MIN	MAX	MIN	MAX
M - Principal Building (ft)	2	3	2	3
N - Accessory Structure(s) (ft)	—	30	—	30
PARKING PROVISIONS				
Location	Zone 2 and 3		Zone 1, 2, 3, and 4	
PRIVATE FRONTAGES				
Allowable Frontages	P, S		P, S	



Porch (P)

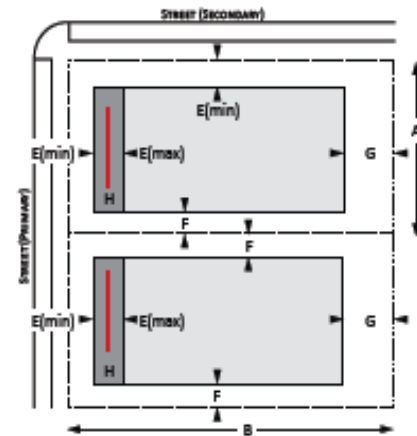


Common Lawn (L)

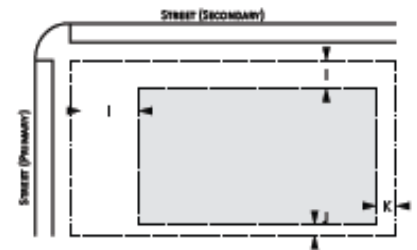


Stoop (S)

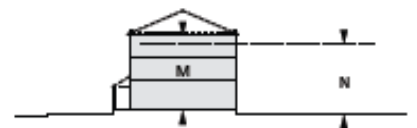
LOT REQUIREMENTS AND BUILDING ENVELOPE



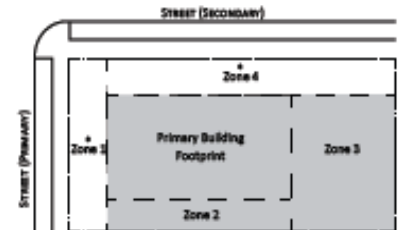
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



* Zone 1 and 4 suburban districts only

Lakelandgov.net



Dianne Kramer

**Senior Planner, Development Services Director
City of Eustis**

Dianne has a master's degree in Urban and Regional Planning from Florida State University and has over 38 years of public and private sector planning experience in the Central Florida area. She has been a private development consultant, Deputy Superintendent of Seminole County Public Schools, and development director for the cities of Winter Springs, Oviedo, and currently, Eustis, Florida.



ROCKS IN THE ROAD FOR FORM BASED CODES

And the jackhammers that can break them down.

ROCK #1

THE WAY THINGS HAVE ALWAYS BEEN

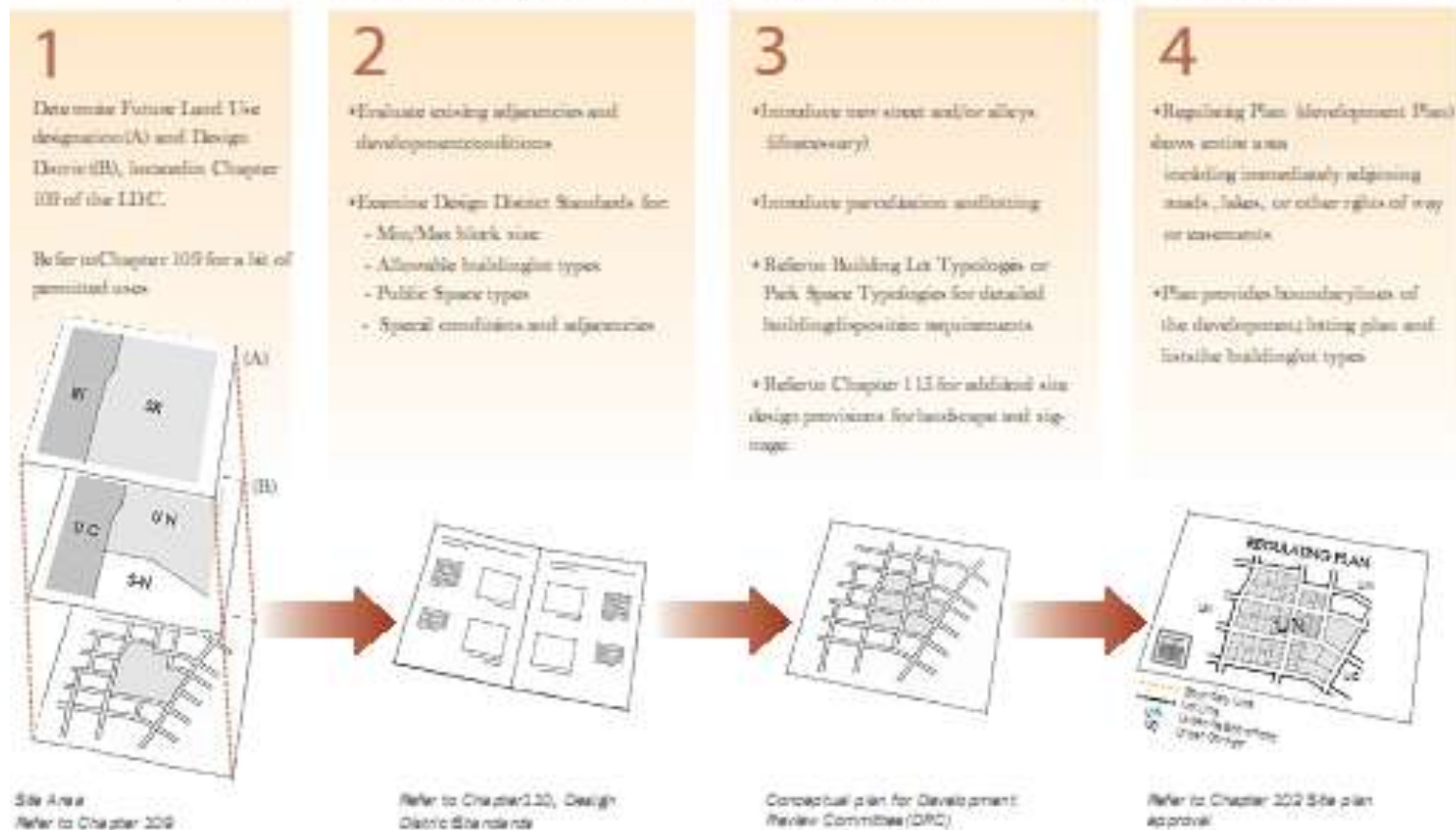


- Separated land uses
- Acceptable and prohibited land uses
- Just give me the minimum setbacks and open space percentage.
- Maximum setback???
- What does scale have to do with zoning?

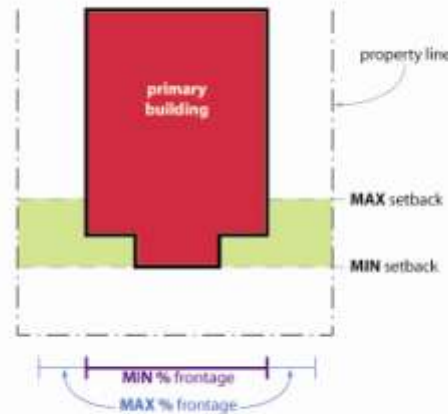
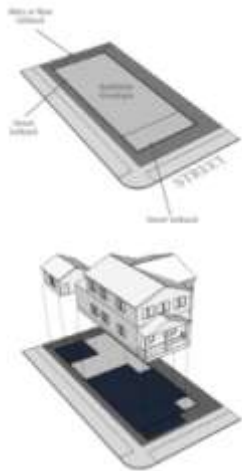
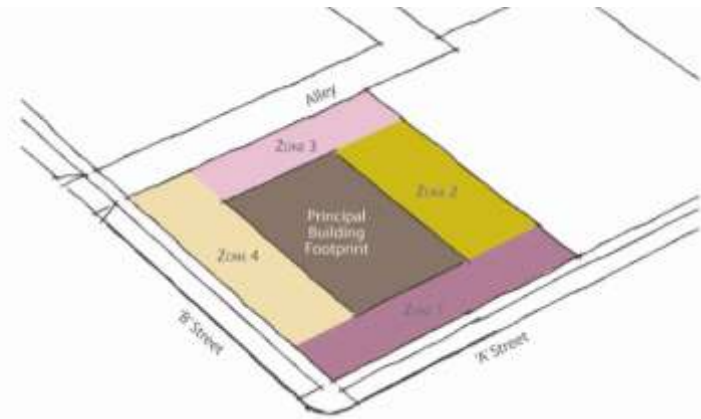
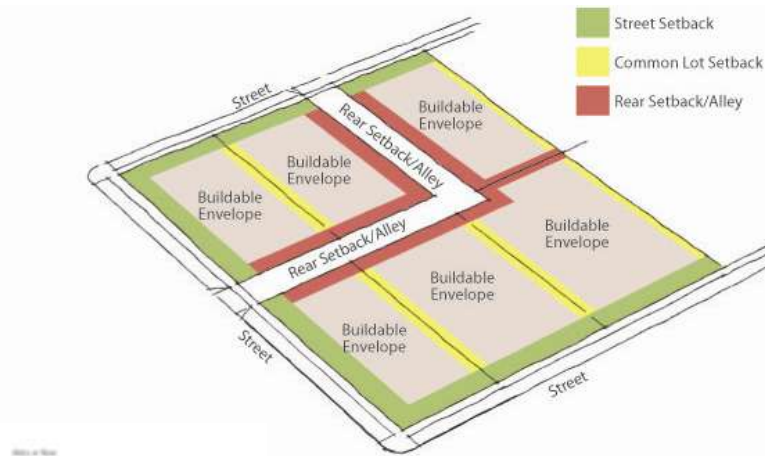


“GET NEW GLASSES” PREPARE A USER’S GUIDE

“THE DESIGN DISTRICT PROCESS”



USE ILLUSTRATIONS – “SHOW RATHER THAN TELL.”



WORKSHOPS

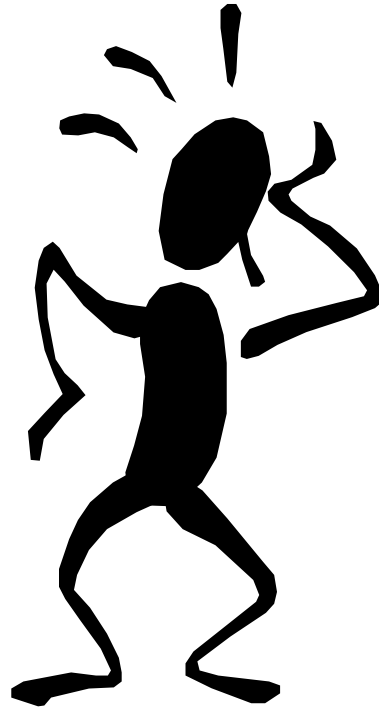
- Consultants
- Builders
- Contractors
- Business owners
- HOA
- All stakeholders



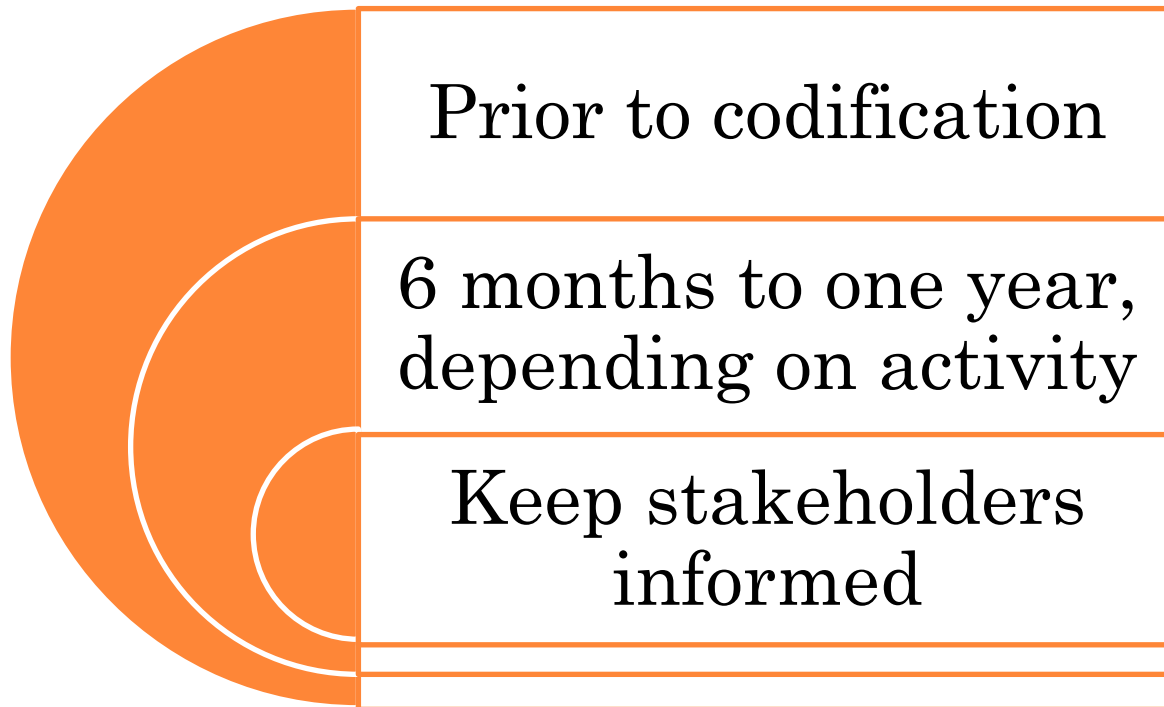
ROCK #2

UNINTENDED CONSEQUENCES

- Focusing on one land use over another
- Creating non-conforming situations



PRESCHEDULED REVIEW/REVISION



ROCK #3

VARIANCES AND WAIVERS

- Potential to compromise form
- Can identify problem regulations
- “where the rubber meets the road” for local politicians
- Consider long-term implications and rationale for approval



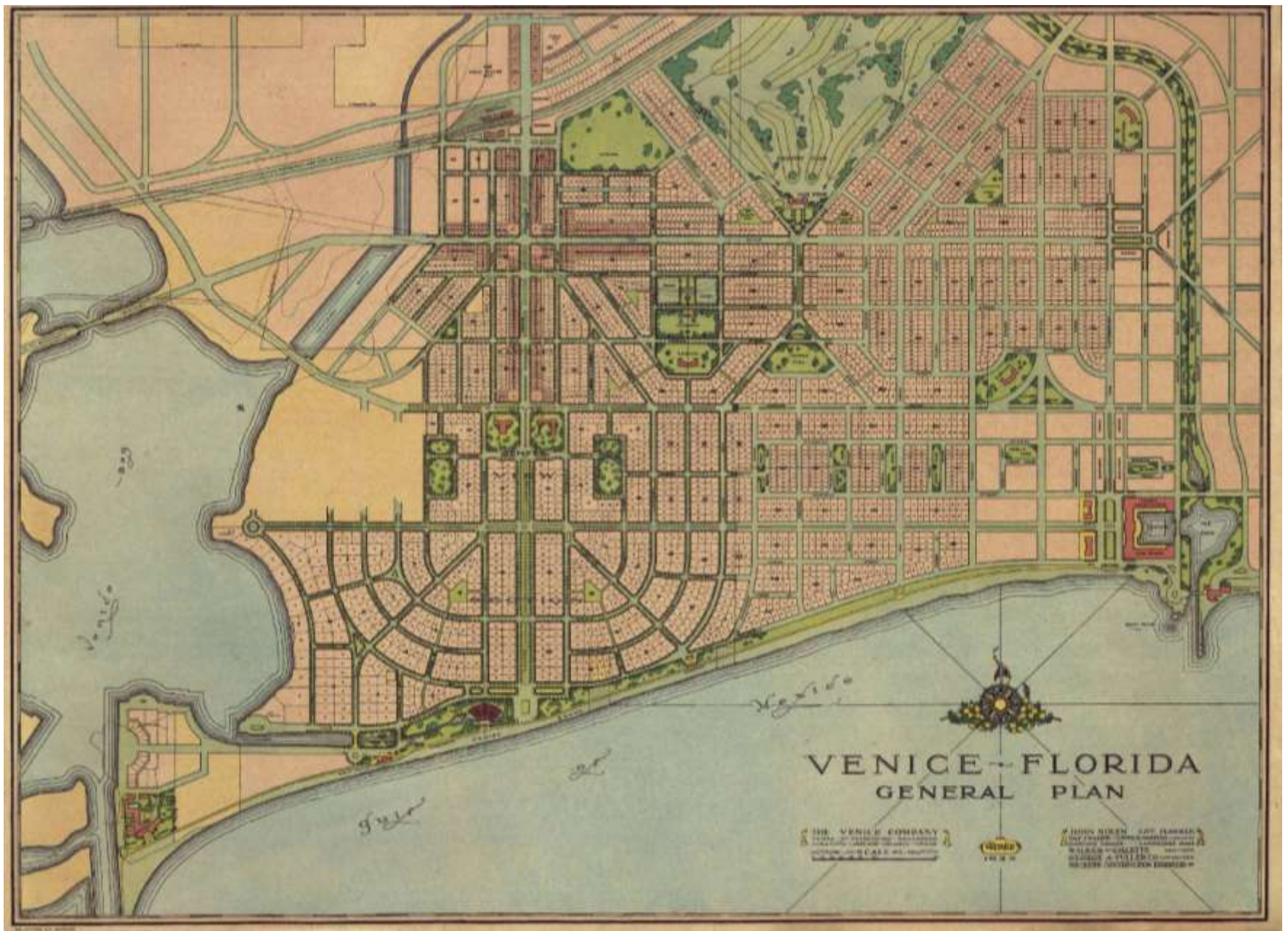
Samuel E. Poole, III

Attorney

Berger Singerman, Ft. Lauderdale

Samuel E. Poole, III is a shareholder resident in the Ft. Lauderdale office and is a member of Berger Singerman's Government and Regulatory Team. Sam is a leading planning and zoning expert in the development and redevelopment of Florida's cities.

With 20 years of experience addressing both conventional and new urbanism development issues, Sam has prepared comprehensive plans, plan amendments, and land use codes enabling development of mixed use new urbanism neighborhoods and buildings. He has been preparing form-based codes since 1990.



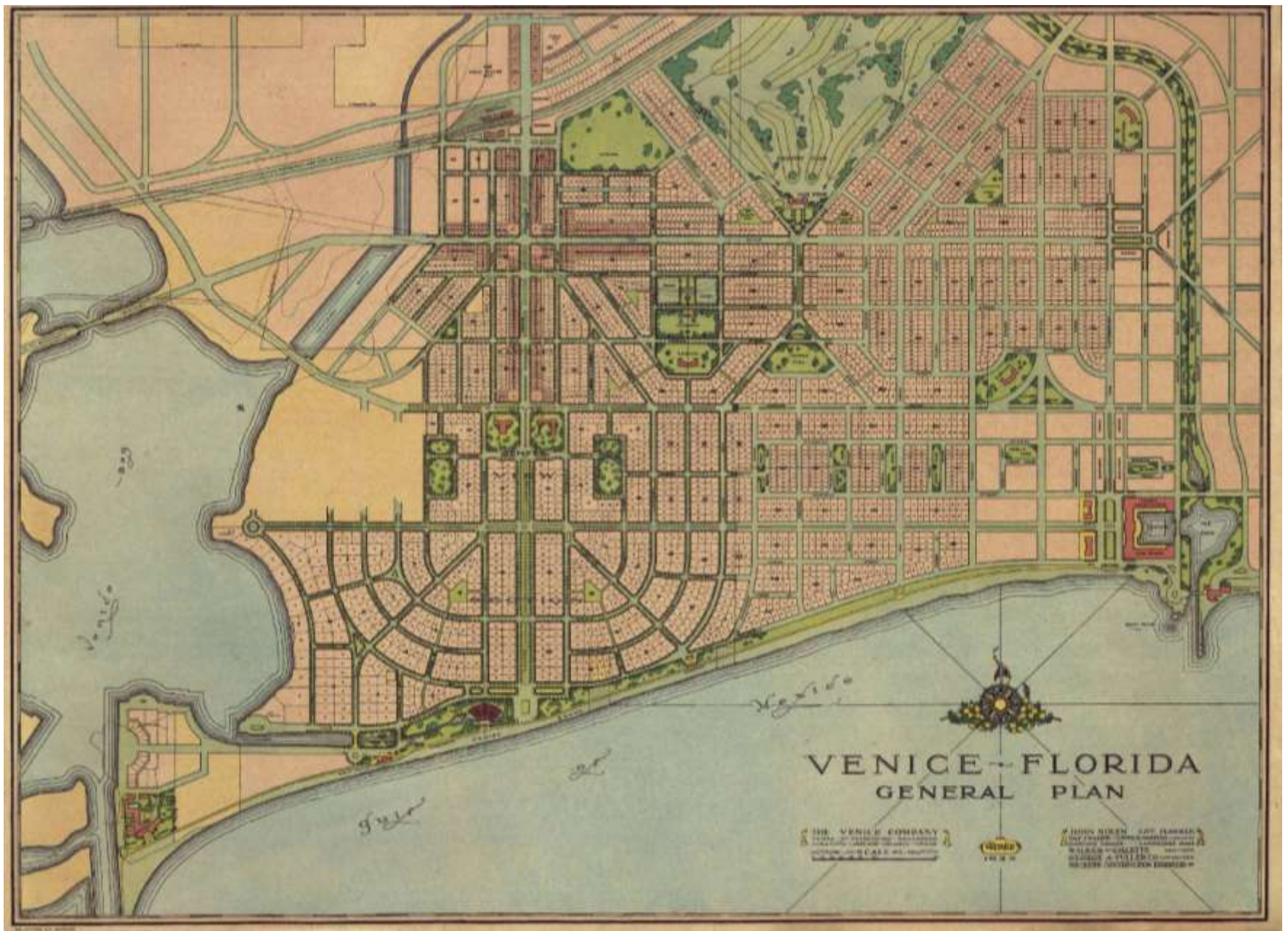
John Nolen plan for City of Venice Florida 1926. The last city planner?.

U.S. Department of Commerce, Standard State Zoning Enabling Act (1926)

Sec. 1. *Grant of Power.* For the purpose of promoting health, safety, morals, or the general welfare of the community, the legislative body of cities and incorporated villages is hereby empowered to regulate and restrict the height, number of stories, and size of buildings and other structures, the percentage of a lot that may be occupied, the size of yards, courts, and other open spaces, the density of population, and the location and use of buildings, structures, and land for trade, industry, residence, or other purposes.

Sec. 2. *Districts.* For any or all of said purposes the local legislative body may divide the municipality into districts of such number, shape, and area as may be deemed best suited to carry out the purposes of this act; and within such districts it may regulate and restrict the erection, construction, reconstruction, alteration, repair, or use of buildings, structures, or land. All such regulations shall be uniform for each class or kind of building throughout each district, but the regulations in one district may differ from those in other districts.

Sec. 3. *Purposes in View.* Such regulations shall be made in accordance with a comprehensive plan and designed to lessen congestion in the streets; to secure safety from fire, panic and other dangers; to promote health and the general welfare; to provide adequate light and air; to prevent the overcrowding of land; to avoid undue concentration of population; and to facilitate the adequate provision of transportation, water, sewerage, schools, parks, and other public requirements. Such regulations shall be made with reasonable consideration, among other things, to the character of the district and its peculiar suitability for particular uses, and with a view to conserving the value of buildings and encouraging the most appropriate use of land throughout such municipality. [Reprinted from R. Anderson, American Law of Zoning §30.01 (2d ed. 1977).



John Nolen plan for City of Venice Florida 1926. The last city planner?.







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Project Vision

Miami of the 21st Century Miami 21 represents the "Miami of the 21st Century" and entails a holistic approach to land use and urban planning. It will provide a clear vision for the City that will be supported by specific guidelines and regulations so that future generations will reap the benefits of well-balanced neighborhoods and rich quality of life.

Miami 21 will take into account all of the integral factors that will make each area within the City a unique, vibrant place to live, learn, work and play. Six elements serve as the lynchpins in the development of the blueprint of Miami: Zoning (Miami 21 Zoning Code), Economic Development, Historic Preservation, Parks and Open Spaces, Arts and Culture, and Transportation.

The Miami 21 Zoning Code is a [Form-Based Code](#) guided by tenets of [New Urbanism](#) and [Smart Growth](#) principles [learn more about Planning Trends](#).

See [illustrative examples](#) of form-based code.

The Mayor's Message

For the first time ever, Miami has a proposed plan in Miami 21...

[More](#)

Project Update

New! Miami 21 was approved by the City Commission on Friday, September 4, 2009 by a 4-1 vote

Miami 21 was presented before the City Commission on September 4, 2009. Motion to pass on First Reading with modifications resulted in a vote of 4-1, approving the plan. [Read Mayor Diaz's official statement](#)

New! [Read the latest press articles related to Miami 21.](#)

SIGN UP * Please [sign up](#) for additional updates.

Latest Documents

New! [Recent Changes List and Marked Code](#)

[Draft Zoning Code and Atlas](#) (updated January 2009)

Architect Renderings What would buildings look like? Take a look

PAB Recommendations View the recommendations being forwarded to the City Commission by the Planning Advisory Board

Listen to Mayor Diaz's Podcast on the Urban Land Institute (ULI) website

2008 FLORIDA STATUTES

163.3161 Short title; intent and purpose.--

This part shall be known and may be cited as the "**Local Government Comprehensive Planning and Land Development Regulation Act.**"

- (3) It is the intent of this act that its adoption is necessary so that local governments can preserve and enhance present advantages; encourage the most appropriate use of land, water, and resources, consistent with the public interest; overcome present handicaps; and deal effectively with future problems that may result from the use and development of land within their jurisdictions. **Through the process of comprehensive planning, it is intended that units of local government can preserve, promote, protect, and improve the public health, safety, comfort, good order, appearance, convenience, law enforcement and fire prevention, and general welfare;** prevent the overcrowding of land and avoid undue concentration of population; facilitate the adequate and efficient provision of transportation, water, sewerage, schools, parks, recreational facilities, housing, and other requirements and services; and conserve, develop, utilize, and protect natural resources within their jurisdictions.

163.3202 Land development regulations.—

Each municipality shall adopt or amend and enforce land development regulations that are consistent with and implement their adopted comprehensive plan.

Local land development regulations shall contain specific and detailed provisions necessary or desirable to implement the adopted comprehensive plan and shall as a minimum:

(b) Regulate the use of land and water for those land use categories included in the land use element and ensure the compatibility of adjacent uses and provide for open space;

(d) Regulate areas subject to seasonal and periodic flooding and provide for drainage and stormwater management.

(e) Ensure the protection of environmentally sensitive lands designated in the comprehensive plan.

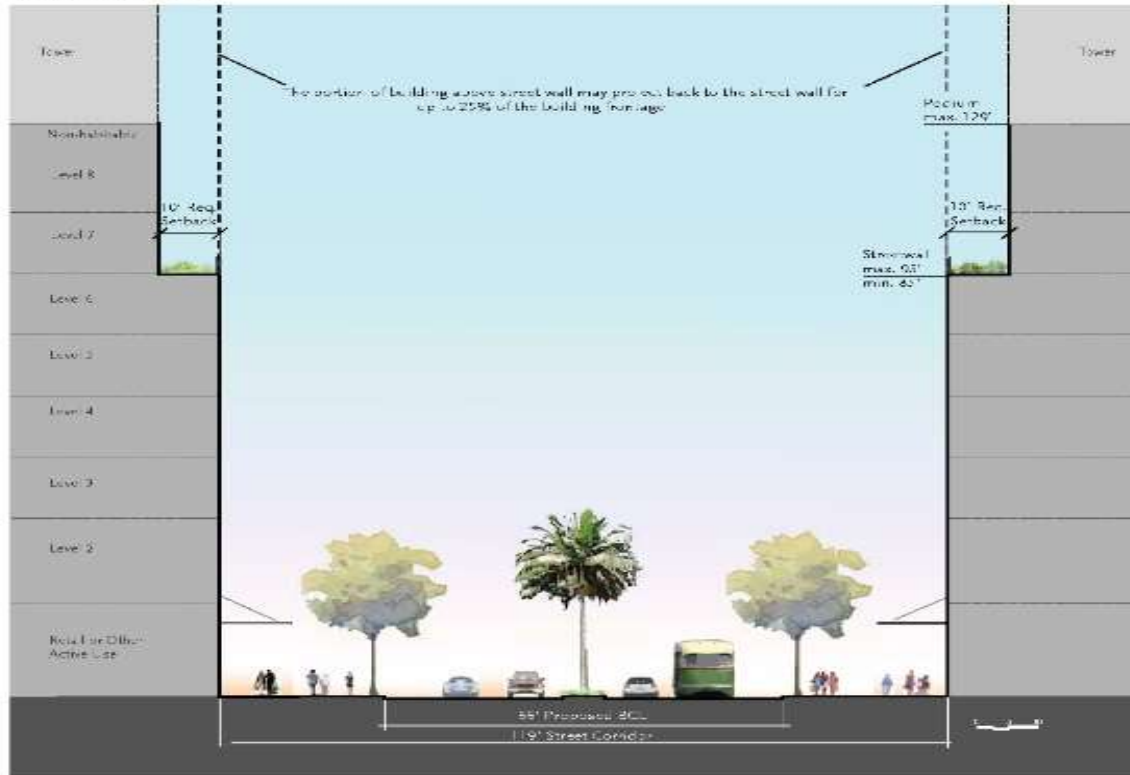
(g) Provide that public facilities and services meet or exceed the standards established in the capital improvements element required by s. [163.3177](#) and are available when needed for the development,

(h) Ensure safe and convenient onsite traffic flow, considering needed vehicle parking.

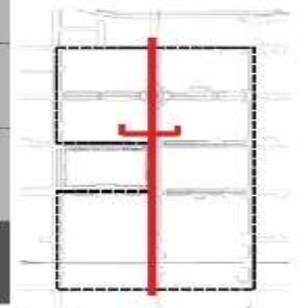
(3) This section shall be construed to **encourage the use of innovative land development regulations** which include provisions such as transfer of development rights, incentive and inclusionary zoning, planned-unit development, impact fees, and performance zoning. These and all other such regulations shall be combined and compiled into a single land development code for the jurisdiction. A general zoning code shall not be required if a local government's adopted land development regulations meet the requirements of this section.

 - Open Space
 - Exposed Parking Garage Permitted with 2' Architectural Screen

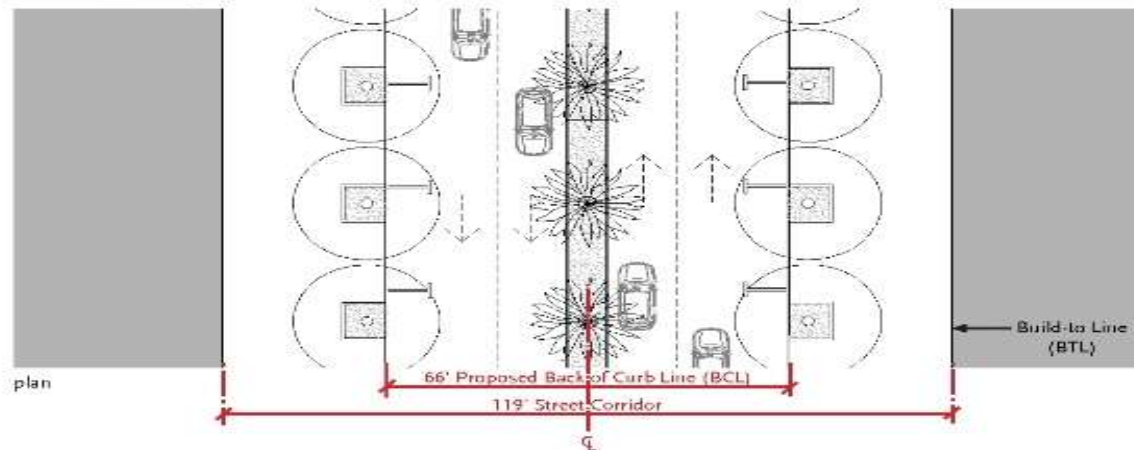
NE 1st Avenue

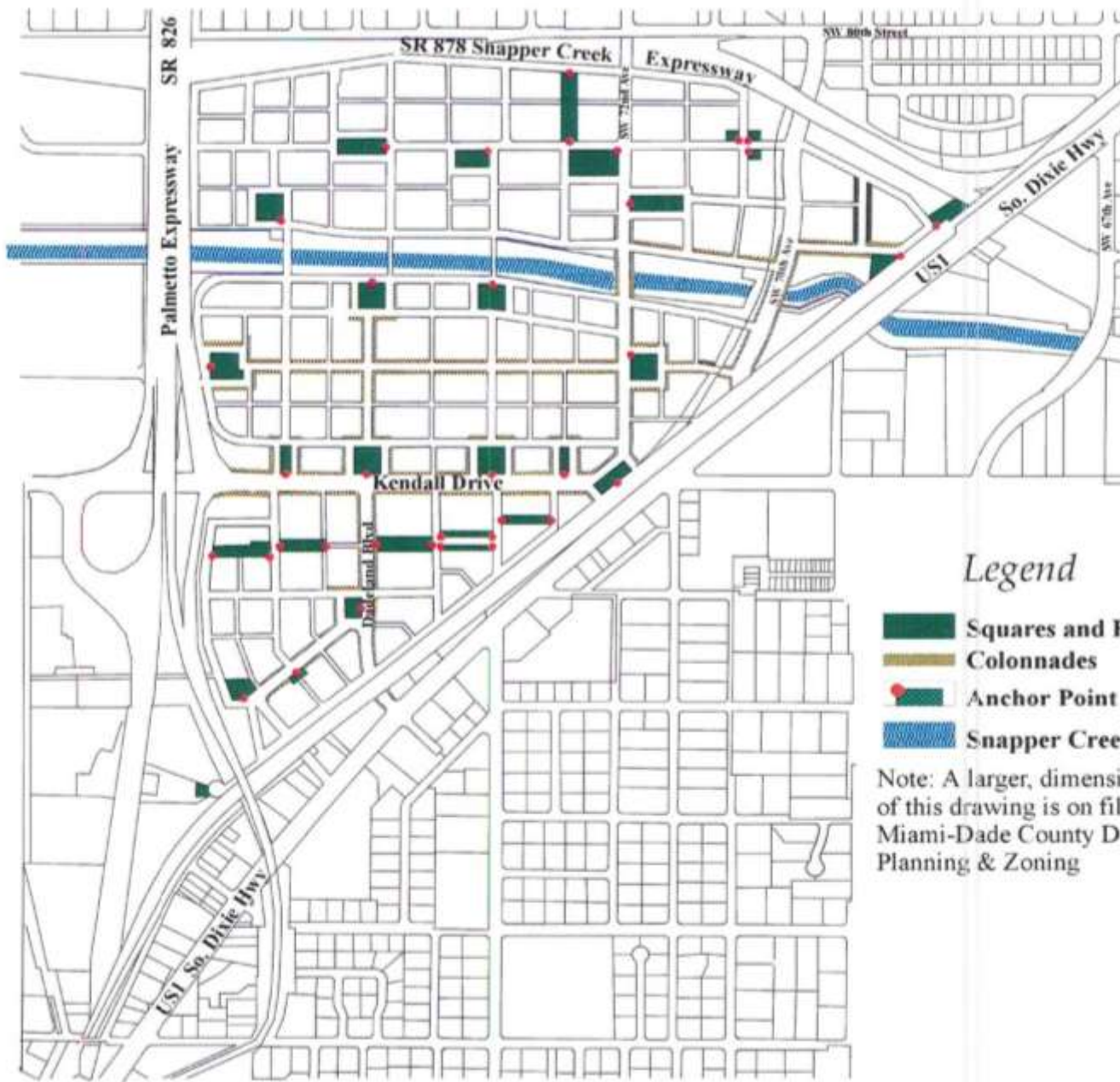


street section (looking north)



key plan

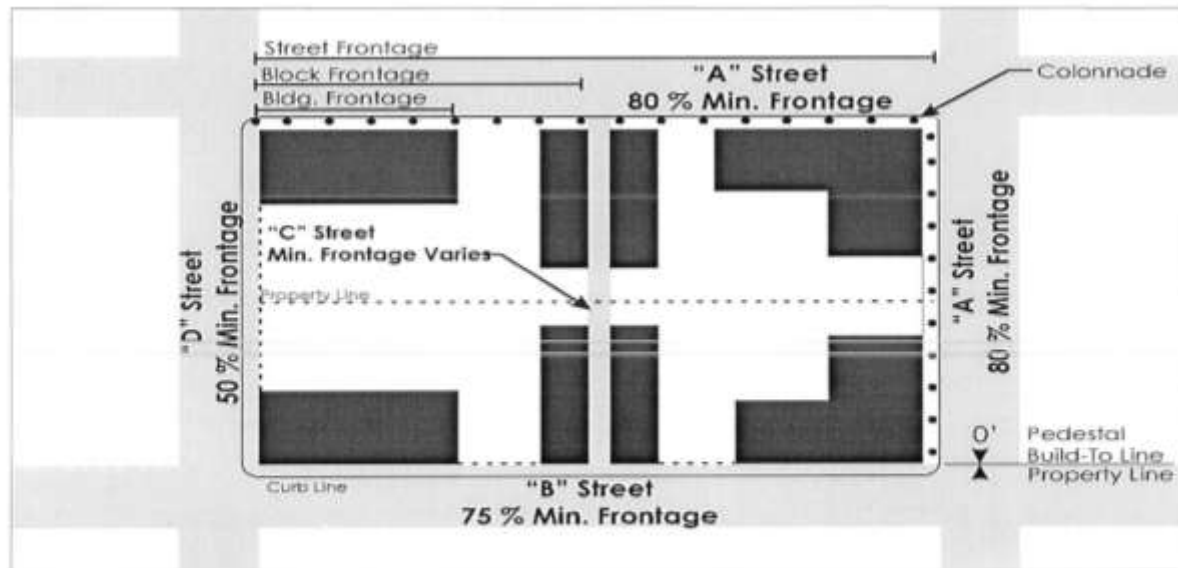




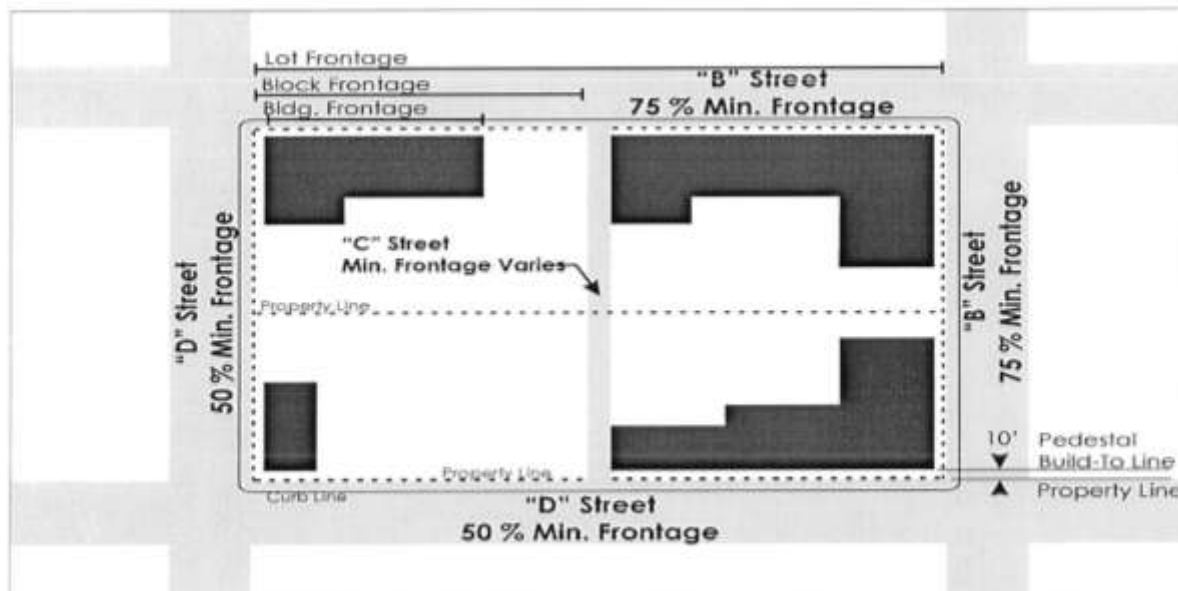
Legend

- Squares and Plazas
- Colonnades
- Anchor Point
- Snapper Creek Canal

Note: A larger, dimensioned version of this drawing is on file at the Miami-Dade County Department of Planning & Zoning



Core / Center Sub-District Placement Diagram



Edge Sub-District Placement Diagram

ARTICLE XXXIII(I). DOWNTOWN KENDALL URBAN CENTER DISTRICT

Sec. 33-284.55. Purpose and intent.

The intention of this Article is to produce a Metropolitan urban center that fulfills the goals, objectives and policies of the County's Comprehensive Development Master Plan by:

GRAPHIC LINK: [Click here](#)

- (A) Coordinating the development intensity within the district by the proximity to mass transit;
- (B) Organizing an interconnected network of colonnaded or tree lined streets to improve pedestrian access to transit; and
- (C) Creating good public open space with specific square and plaza locations and by shaping the way buildings front onto the open space and streets.

The Illustrative Plan (Figure 1), illustrates the vision and may be used to better interpret this Article. Where there is conflict between the illustrative plan and the text of this article, the text shall govern.

Sec. 33-284.57. Review procedure.

Projects following the provisions of this Article and the Regulating Plans shall be processed and approved administratively. The Miami-Dade County Department of Planning and Zoning shall review the applications including exhibits listed below for completeness and compliance with the provisions of this Article and the Regulating Plans. All complete submissions to the Department shall be reviewed and approved or denied, within twenty-one (21) days from the date of submission. The applicant shall have the right to extend the twenty-one (21) day period by an additional twenty-one (21) days upon timely request made in writing to the Department. The Department shall have the right to extend the twenty-one (21) day period by written notice to the applicant that additional information is needed to process the site plan. Denials shall be in writing and shall specifically set forth the grounds for the denial. Any final decision of the Director may be appealed in accordance with the public hearing procedure established in Article XXXVI of this Code and in accordance with the procedure established for appeals of administrative decision.



LAND DEVELOPMENT CODE CITY OF SOUTH MIAMI, FLORIDA
ARTICLE VII. HOMETOWN DISTRICT OVERLAY ORDINANCE

20-7.3 Review procedure.

(A) *Pre-Application Conference.* All applicants filing an application for a development permit (ADP) within the Hometown District shall first attend a meeting with the director of building, zoning and community development or other designated official (director) to discuss and analyze the proposed application in a non-binding forum.

(B) *Application for Development Permit.* The contents of an ADP shall be as provided in Chapter 20 of the Code, except that all such application shall include the following items:

(1) *Application Form:* completed, signed, and notarized.

(2) *Surveys:* Two (2) signed and scaled surveys, showing existing structures, boundaries, rights-of-way and easements of record.

(3) *Fee:* Assessed per fee schedule at time application is filed.

(4) *Site Plan:* Three (3) copies of the site plan (see site plan requirements).

(5) *Building Elevation Drawings:* Three (3) copies of the drawings. Building elevations may be schematic in nature, but shall be drawn to scale, be properly dimensioned, and shall indicate proposed building materials and exterior surfaces and finishes. All drawings shall demonstrate treatment of required elements.

(C) *Completeness.* ADP shall be reviewed for completeness per Section 20-5.4 of the Code.

(D) *Review.* A complete ADP shall be reviewed by the Director. If the ADP is determined to be in conformance with the Hometown District Standards, the application shall be processed for approval pursuant to the applicable provisions of the Code and the development permit issued by the director without further review by the planning board, ERPB or the city commission.

(E) *ADP Not Conforming to HD Standards.* If the ADP includes a use that requires approval as a special use, or if the ADP does not conform to the Hometown District Standards (other than nonconformance with the Architectural Standards), the application shall be processed as provided in Sections 20-5.5 through 5.9, as appropriate.


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Resources

Resources from the FBCI

[Definition of a Form-Based Code](#)

[Checklist for Identifying and Evaluating Form-Based Codes](#)

[Sample RFQ for Consultants to Prepare a Form-Based Code \(73KB Microsoft Word document\)](#)

[Eight Advantages to Form-Based Codes](#)



Creating Urban Form
by Bill Spikowski

Books and Articles

FBCI provides access to these articles as a resource to our web site visitors, but does not necessarily endorse the viewpoints expressed therein.

"Design First, Codify Second: Germany Offers Lessons for U.S. Planners," (3.5MB pdf) Faith Cable, *Planning Magazine*, July 2009.

"The Future of Zoning," (2MB pdf) Ed Tombari, *Land Development*, Spring 2009.

"Hybrid codes versus form-based codes," (259KB pdf) Kaizer Rangwala, *New Urban News*, April/May 2009.

Form-Based Codes: A Guide for Planners, Urban Designers, Municipalities, and Developers, Daniel G. Parolek, Karen Parolek, and Paul C. Crawford, Wiley, 2008.

A Legal Guide to Urban and Sustainable Development for Planners, Developers and Architects, Daniel K. Stone and Doris S. Goldstein, Wiley, 2008.

[New Economics of Place \(568 KB pdf\)](#), Scott Polikov, *Chamber Executive*, 2008.

"[In the Tropical Zone](#)," (3.3MB pdf) David Rateman, *Planning Magazine*, December 2007.

Zoning Reform Has Begun: Form-Based Codes, The National Association of REALTORS®.

Place Making with Form-Based Codes (2.4MB pdf), Mary E. Madlen and Bill Spikowski, *Urban Land*, September 2006.

"[Form-Based Land Development Regulations](#)" (560 KB pdf) by Robert Sitkowski & Brian Ohm, published in *Urban Lawyer*, Winter 2006. © 2006 by the American Bar Association. Reproduced with permission. All rights reserved. This information or may not be copied or disseminated in any form or by any means or stored in an electronic database or retrieval system without consent of the American Bar Association.

Function Follows Form, Bob Sperber, *Professional Builder*, September 1, 2005.

[Form-Based Codes: Implementing Smart Growth](#)" (3.9 MB pdf), Local Government Commission

[Form-Based Zoning](#), CD-ROM of National APA conference presentations, Paul C. Crawford, Bill Dennis, and Geoffrey Fern

Dean A. Barberree

Vice President – Crosland Development

As Florida's Vice President of Development, Dean oversees and manages the implementation of all Crosland development activities in Florida, including entitlement, financial, planning, construction and builder and community relations. Dean is responsible for assembling and coordinating the project team, establishing the project vision and managing the execution of each Crosland community.

Deans experience includes conventional development, Traditional Neighborhood Development (TND), and Sustainable (“Green”) community development knowledge and experience. Leveraging on his architectural background, commitment to environmental stewardship, and emphasis on creating places for people, Dean has an extensive understanding of the value that good design and sound environmental practice have on placemaking and creating sustainable community value.



Form Based Code

“A Private Sector Example”

Dean Barberree
Crosland, LLC
dbarberree@crosland.com

- **+/- 2,500 acre (New Town)**
 - **Greenfield - Suburban**
 - **+/- 5,000 homes**
 - **+/- 1 million SF commercial**
- **Site Specific - Form Based Code (MPUD)**
- **Private Developer Lead FBC Effort**
- **Conventional LDC in place**



Project Master Plan



Project Vision (Diverse Districts)



Open Space



Traditional (TND)



Business



Town Center



Rural

Project District Standards



District Overview

The TND District encompasses most of the residential portions of the community. This district will contain a number of distinct neighborhoods, each with a variety of housing types, styles and prices. The district will be designed to meet the intent of the County's TND Standards, with some requests for alternate standards.

As specified in the TND Standards Ordinance, neighborhood and neighborhood center are defined below:

Neighborhood

A neighborhood is an area between 40 and 160 acres in size and is comprised primarily but not totally of housing. Each neighborhood is designed so that a majority of the housing units are within a walking distance or one-fourth mile of a neighborhood center. Neighborhoods shall be connected by a system of interconnected streets and not be restricted by gates or other security measures that would inhibit vehicular or pedestrian connectivity and accessibility.

Neighborhood Center

A neighborhood center is a portion of the neighborhood located within one-fourth mile or walking distance for the majority of the residences within the neighborhood. The neighborhood center must contain a combination of at least two of the following uses: recreational space, a public or civic use, or small-scale neighborhood-oriented commercial uses. The size of each neighborhood center is determined during the master land use plan process and is based upon the size of the neighborhood. Each neighborhood center must be of a size to adequately provide a public/civic focal point for the neighborhood.

Character

The TND District will follow the principles of Traditional Neighborhood Development. The district will feature a wide diversity of housing types, styles, and prices, including both attached and detached homes, accessory dwelling units (or garage apartments), and live/work units, among others. Higher density residential areas will be closer to the neighborhood center. In general, the densities will be lower towards the edges of each neighborhood, allowing for a smooth transition to the conservation areas of the community.

Transportation

Like the Town Center District, the TND District will be characterized by a high level of street connectivity. The grid pattern may be more curvilinear than the Town Center, allowing for the protection of environmental components in and around the neighborhoods. Sidewalks and bike lanes will ensure the pedestrians and bicyclists can comfortably and safely navigate this district. Street sections may include reduced lane widths to provide traffic calming and to control travel speeds in residential areas.

Parks & Open Space

Each neighborhood will have numerous pocket parks that are within a short walking distance of every home. Larger neighborhood parks will also be distributed throughout the community, which may contain playground facilities and similar uses. The neighborhood centers will likely include more urban types of open spaces, such as plazas, greens, or squares. Generally, each individual neighborhood will likely be surrounded by a "greenbelt" of parks and/or conservation land, consisting of wetlands and uplands.

Allowable Types

CATEGORY	SPECIFIC TYPE	
Street Types	Avenue	■
	Drive	■
	Residential Road	—
	Rural Road	—
	Commercial Street	■
	Standard Street	■
	Residential Street	■
Building Lot Types	Lane	■
	Farmstead Building Lot	—
	Homestead Building Lot	—
	Estate Building Lot	■
	House Building Lot	■
	Cottage Building Lot	■
	Small Building Lot	■
	Townhouse Building Lot	■
	Apartment House Building Lot	■
	Apartment Building Lot	■
Park Typologies	Live/Work Building Lot	■
	Mixed-Use Building Lot	■
	Commercial Building Lot	■
	Industrial Building Lot	—
	Civic Building Lot	■
	Pocket Park	■
	Plaza	■
	Square	■
	Green	■
	Neighborhood Park	■
	District Park	■
	Special Use Park	■
	Natural Resource Area	■
	Cultural Resource Area	■
	Greenway	■

■ Allowed in District
— Not Allowed

Regulating Plan

General

Block Size

- For commercial, multi-family, and mixed-use development, the maximum block length shall be 700 feet. For attached and detached residential uses, the maximum block length shall be 600 feet. The perimeter of any block in the district shall not exceed 2,100 feet.
- Lots on a Private Edge Condition are not required to be in "blocks".

Uses, Intensities, Densities, Mix

- Permitted uses in the district are listed on page 30. Uses may be mixed throughout the district and may be converted to other uses through the land use equivalency matrix contained in the Development Order.

Allowable Environmental Impacts

- Wetland impacts to Category 1 wetlands will be limited to those approved by the County through the preliminary plan/preliminary site plan approval consistent with the provisions of the Conservation Element, Policies 2.72, 2.74, and 2.76. Wetland impacts to Category 2 and 3 wetlands shall be consistent with permits issued by applicable state and federal agencies. A copy of the permit application for wetland impacts to Category 2 and 3 wetlands shall be provided to the County as part of the preliminary plan/preliminary site plan application.
- Surveys for listed species shall be conducted consistent with the Conservation and Habitat Management Plan (CHMP). Potential impacts to listed species shall be consistent with permits issued by the FFWCC.
- Residential lots adjacent and contiguous to naturally vegetated upland conservation lands identified in the CHMP shall maintain a minimum 30 feet wide setback from the conservation parcel. Only nonflammable fencing material and vegetation consistent with the Florida Firewise program are allowed within this setback.

Park and Open Space

- At least five percent of the district shall be usable community common areas and open space accessible to the public. These forms are regulated by the Park and Open Space Types. Individual phases may provide less than the required park land area as long as the total for the district is met at the time of development of the last phase. The TND District, or individual phases thereof, may provide up to 25% less than the required park area, as long as the deficit is added to the park requirement of the adjacent neighborhood.
- All residential units shall be located within one-eighth of a mile from a park that is at least one quarter of an acre in size.
- A 100' by 100' playground dimension is not required.

Neighborhood Size

- A neighborhood shall be sized such that the majority of housing is within a walking distance or one-fourth mile radius of a neighborhood center. Neighborhoods shall be designated at the Preliminary Plan phase of development.
 - Minimum size: 40 acres
 - Maximum size: 160 acres

Street Types



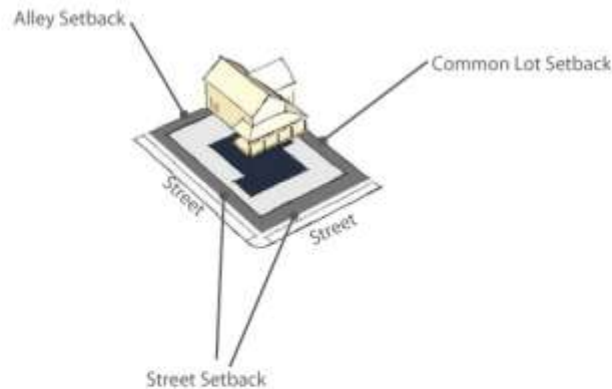
Building Lot Types



Park and Open Space Types



Page 37-43



Page 44-57



Page 58-62

Rural Road



DESIGN PARAMETERS	MIN	MAX
Target Speed	25	35
Movement	Free	
TRAVELWAY CONFIGURATIONS	MIN	MAX
Travel Lanes (each direction)	1	1
Turn Lanes	—	1
Bike Facility (Optional)	Bike Lane	
LANE DIMENSIONS	MIN	MAX
Travel Lane(s) Width (ft)	10	12
Bike Lane Width (ft)	4	5
ROADWAY EDGE	MIN	MAX
Outside Curb Type	No Curb or Ribbon	
Median Curb Type	No Curb, Ribbon, or Type B	
MEDIANS	MIN	MAX
Allowable Median Type	Narrow or Wide	
Narrow Median Width (ft)	4	8
Wide Median Width (ft)	12	30
PUBLIC FRONTAGE	MIN	MAX
Planter Type	Grass	
Planter Width (ft)	4	—
Walkway Width (ft)	Not Required ¹	
RIGHT OF WAY	MIN	MAX
Right of Way Width (ft) ²	50	80

- Notes: 1. Path on one side (6' width) is required if bike/pedestrian facilities are not provided in adjacent park/conservation areas.
2. Right of way width shall be minimized when adjacent to wetlands to reduce environmental impact.
3. Rural roads may be used at grade secondary access through low-lying areas.

Commercial Street



DESIGN PARAMETERS	MIN	MAX
Target Speed	15	25
Movement	Free	
TRAVELWAY CONFIGURATIONS	MIN	MAX
Travel Lanes (each direction)	1	2
Turn Lanes	—	1
Bike Facility (Optional)	Bike Route or Bike Lane	
LANE DIMENSIONS	MIN	MAX
Travel Lane(s) Width (ft)	10	11
Bike Lane Width (ft) ³	4	5
Parking Lane Width (parallel parking) (ft) ⁴	7	8
Parking Lane Width (angled parking) (ft)	16	19
ROADWAY EDGE	MIN	MAX
Outside Curb Type	Type D or F	
MEDIANS	MIN	MAX
Allowable Median Type	None	
PUBLIC FRONTAGE	MIN	MAX
Planter Type	Intermittent and/or Tree Row ⁵	
Planter Width (ft)	6	—
Walkway Width (each side) (ft)	6	—
RIGHT OF WAY	MIN	MAX
Right of Way Width (ft)	60	100

- Notes: 1. Planter zone intended to accommodate street furniture between tree planting areas.
2. On-street parking spaces should be striped.
3. Bike Lane not required.
4. Parking not required.
5. Bulb-outs are not required.

Standard Street



DESIGN PARAMETERS	MIN	MAX
Target Speed	25	35
Movement	Free	
TRAVELWAY CONFIGURATIONS	MIN	MAX
Travel Lanes (each direction)	1	2
Turn Lanes	—	1
Bike Facility (Optional)	Bike Route or Bike Lane	
LANE DIMENSIONS	MIN	MAX
Travel Lane(s) Width (ft)	9	11
Bike Lane Width (ft)	4	5
Parking Lane Width (parallel parking) (ft)	7	8
ROADWAY EDGE	MIN	MAX
Outside Curb Type	Type D or F	
MEDIANS	MIN	MAX
Allowable Median Type	None	
PUBLIC FRONTAGE	MIN	MAX
Planter Type	Grass and/or Raised	
Planter Width (ft)	6	8
Walkway Width (each side) (ft)	5	7
RIGHT OF WAY	MIN	MAX
Right of Way Width (ft)	50	80

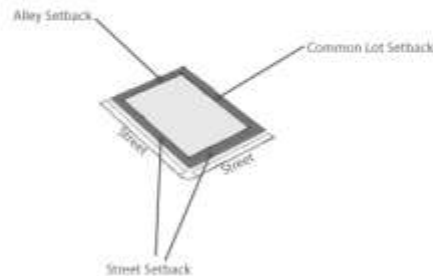
- Note: On-street parking spaces are not required to be striped and are not required on both sides of the street. Bulb-outs are not required.

Estate Lot

LOT REQUIREMENTS	MIN	MAX
Lot Width (ft)	70	200
Lot Depth (ft)	100	660
Lot Size (sf)	8,400	43,560
Lot Coverage (%)	—	65
BUILDING ENVELOPE	MIN	MAX
Street Setback (ft)	15	—
Common Lot Setback (ft)	7.5	—
Alley Setback (ft)	5	—
Frontage Buildout (%)	25	—
ACC BLDG ENVELOPE	MIN	MAX
Street Setback (ft)	15	—
Common Lot Setback (ft)	3	—
Alley Setback (ft)	5	25
Building Footprint (sf)	—	800
BUILDING HEIGHT	MIN	MAX
Principal Building (st)	1	3
Accessory Building(s) (st)	1	2
PARKING PROVISIONS		
Location	Zone 1, 2, 3, and 4	
Amount	See Table Page 58	
BUILDING FUNCTION		
Residential	■	
Lodging	■	
Office	■	
Retail	—	
Civic	—	
Other	—	
PRIVATE FRONTAGES		
Common Lawn	■	
Porch and Fence	■	
Forecourt	—	
Stoop	—	
Shopfront and Awning	—	
Gallery	—	
Arcade	—	
Specialized (see notes)	—	

■ Allowed
— Not Allowed

Typical Setback Locations



Example Building Massing



Illustrative Building Placement

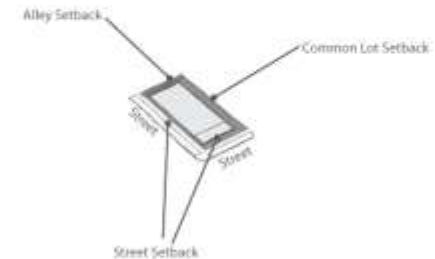


House Lot

LOT REQUIREMENTS	MIN	MAX
Lot Width (ft)	40	70
Lot Depth (ft)	90	120
Lot Size (sf)	4,000	10,000
Lot Coverage (%)	—	80
BUILDING ENVELOPE	MIN	MAX
Street Setback (ft)	10	25
Common Lot Setback (ft)	5	—
Alley Setback (ft)	5	—
Frontage Buildout (%)	60	86
ACC BLDG ENVELOPE	MIN	MAX
Street Setback (ft)	10	—
Common Lot Setback (ft)	3	—
Alley Setback (ft)	5	—
Building Footprint (sf)	—	800
BUILDING HEIGHT	MIN	MAX
Principal Building (st)	1	3
Accessory Building(s) (st)	1	2
PARKING PROVISIONS		
Location	Zone 1, 2, 3, and 4	
Amount	See Table Page 58	
BUILDING FUNCTION		
Residential	■	
Lodging	■	
Office	■	
Retail	■	
Civic	—	
Other	—	
PRIVATE FRONTAGES		
Common Lawn	■	
Porch and Fence	■	
Forecourt	—	
Stoop	—	
Shopfront and Awning	—	
Gallery	—	
Arcade	—	
Specialized (see notes)	—	

■ Allowed
— Not Allowed

Typical Setback Locations



Example Building Massing



Illustrative Building Placement



Park and Open Space Types

Green



GENERAL DESCRIPTION	SIZE CRITERIA (Acres)	
Area of formal or informal landscape used for unstructured recreation	MIN	MAX
	0.5	5

PARK AND RECREATION FACILITIES

Playground	■	Multi-Purpose Field	■
Open Lawn	■	Baseball or Softball Field	■
Seating Area	■	Football or Soccer Field	■
Fountain	■	Basketball or Tennis Court	■
Cultural/Arts Center	■	Golf	—
Gymnasium	—	Multi-Purpose Trail	■
Picnic Table Area	■	Trailhead	■
Special Events Facility	■	Dog Park	■
Market	■	Skate Park	■
Community Garden	■	BMX Facility	—
Ornamental Garden	■	Horse Stables	—
Swimming Pool/Aquatic Center	—	Boat Ramp	■
Nature Area	■	Canoe/Kayak Launch	■
Stormwater Facility (Including U/D)	■	Fishing Area	■
Volleyball	■	Meeting Hall	■
Kiosks (Food, Commercial, or Informational)	■	Amenity Center	■

■ - Allowed Facility in Type
— Not Allowed

Neighborhood Park



GENERAL DESCRIPTION	SIZE CRITERIA (Acres)	
Used for informal active and passive recreation	MIN	MAX
	2	10

PARK AND RECREATION FACILITIES

Playground	■	Multi-Purpose Field	■
Open Lawn	■	Baseball or Softball Field	■
Seating Area	■	Football or Soccer Field	■
Fountain	■	Basketball or Tennis Court	■
Cultural/Arts Center	■	Golf	—
Gymnasium	■	Multi-Purpose Trail	■
Picnic Table Area	■	Trailhead	■
Special Events Facility	■	Dog Park	■
Market	■	Skate Park	■
Community Garden	■	BMX Facility	—
Ornamental Garden	■	Horse Stables	—
Swimming Pool/Aquatic Center	■	Boat Ramp	■
Nature Area	■	Canoe/Kayak Launch	■
Stormwater Facility (Including U/D)	■	Fishing Area	■
Volleyball	■	Meeting Hall	■
Kiosks (Food, Commercial, or Informational)	■	Amenity Center	■

■ - Allowed Facility in Type
— Not Allowed

District Park



GENERAL DESCRIPTION	SIZE CRITERIA (Acres)	
Broad purpose park that serves people at a county-wide or larger scale; may be either natural-resource based or programmed recreation	MIN	MAX
	80	None

PARK AND RECREATION FACILITIES

Playground	■	Multi-Purpose Field	■
Open Lawn	■	Baseball or Softball Field	■
Seating Area	■	Football or Soccer Field	■
Fountain	■	Basketball or Tennis Court	■
Cultural/Arts Center	■	Golf	—
Gymnasium	■	Multi-Purpose Trail	■
Picnic Table Area	■	Trailhead	■
Special Events Facility	■	Dog Park	■
Market	■	Skate Park	■
Community Garden	■	BMX Facility	■
Ornamental Garden	■	Horse Stables	■
Swimming Pool/Aquatic Center	■	Boat Ramp	■
Nature Area	■	Canoe/Kayak Launch	■
Stormwater Facility (Including U/D)	■	Fishing Area	■
Volleyball	■	Meeting Hall	■
Kiosks (Food, Commercial, or Informational)	■	Amenity Center	■

■ - Allowed Facility in Type
— Not Allowed

Starkey Ranch • MPUD 60

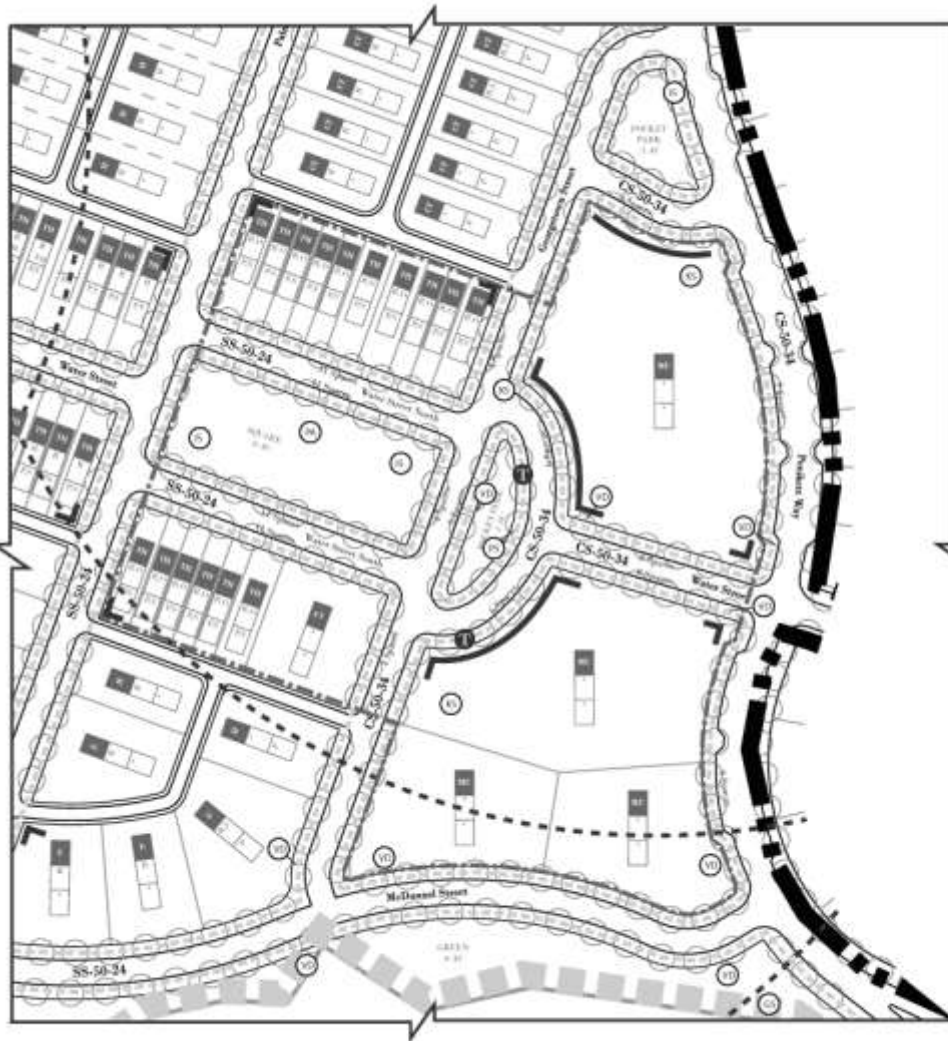
Development Standards



Lessons Learned

- **Overcome conventional code bias**
- **Big picture acceptance easier than staff details**
- **Approval process requires patience and persistence**
- **Keep the engineers in check (people first - not cars)**
- **Reshape/Rethink traditional review process**
 - **Team approach**
 - **Staged review**
- **Add a Regulating Plan**

Sample Regulating Plan



This sample representative, not specific, and is included to represent the level of detail intended to be included in a Regulating Plan submittal. Other formats that include the same information may be substituted. The Regulating Plan is intended to demonstrate quantities and general locations of signs, trees, frontages, etc., but not necessarily the final locations of these elements.

Building Lot Type: (Refer to MPUD for full list of development standards for each lot type)

Building Footprint: If building footprint is more restrictive than the one listed in the MPUD, they are shown here.

Private Frontage Type: If private frontage type is more restrictive than the one listed in the MPUD, they are shown here.

ML
RLO
PS

Building Lot Tags

The building lot tag used in the regulating plan is a quick reference showing any additional restrictions that are applied on a *per lot* basis. The letter codes in the lot tag correspond to the letter codes in the MPUD.

Special Provisions for Building Frontage Requirements

The line type at left indicates the placement of required building frontage to ensure that key street segments are fronted by building. This required frontage counts toward the total minimum required frontage for building lots or blocks as specified in the MPUD.

Key

Description

---	Pedestrian Network
VO	Vehicular Directional Sign
IS	Interpretive Sign
KS	Kiosk Sign
PS	Placemaking Sign
PA	Public Art Sign
GS	Gateway: Secondary Sign
TS	Transit Stop Suggested Location
T	Tree
PS	Number of on-street parking spaces

Scale in feet
0 100 200

- **Most Permanent Elements (Least Dynamic)**
 - Neighborhood footprint
 - Block Size and ROW width
 - Size and location of common areas
 - Lot Size and distribution
- **Middle Elements (Dynamic)**
 - Buildings
 - Pavement, Curbs and Sidewalks
 - Utilities and Trees
- **Less Permanent (Most Dynamic)**
 - Use - Ownership
 - Landscape, Hardscape, Signage and Furnishings
 - Temporary and Movable Structures

- **Don't forget market needs to make a “Place/Project” viable**
- **Builders/Developers respond to market demands and tenant needs**
- **Tenant flexibility (layout, parking, access) based on location and area demographics**
 - **Strong – More Flexible**
 - **Weak – Less Flexible**
- **Allow more flexibility to dynamic elements for early anchors**
- **Not all form is “Urban” (diverse districts)**

Town Center Example



3.0 - Illustrative Master Plan

Crosland-Starkey Ranch Town Center Master Plan
 Revised Drafts: Revised
 February 10, 2014
 0100001

- **Form Base Code requires a public and private partnership**
- **Form is diverse (not all urban)**
- **Understand what your market and location will allow**
- **Allow more flexibility to dynamic elements for early market anchors**
- **Plan for phasing and redevelopment**
- **Keep the long view in mind**

QUESTIONS?

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